

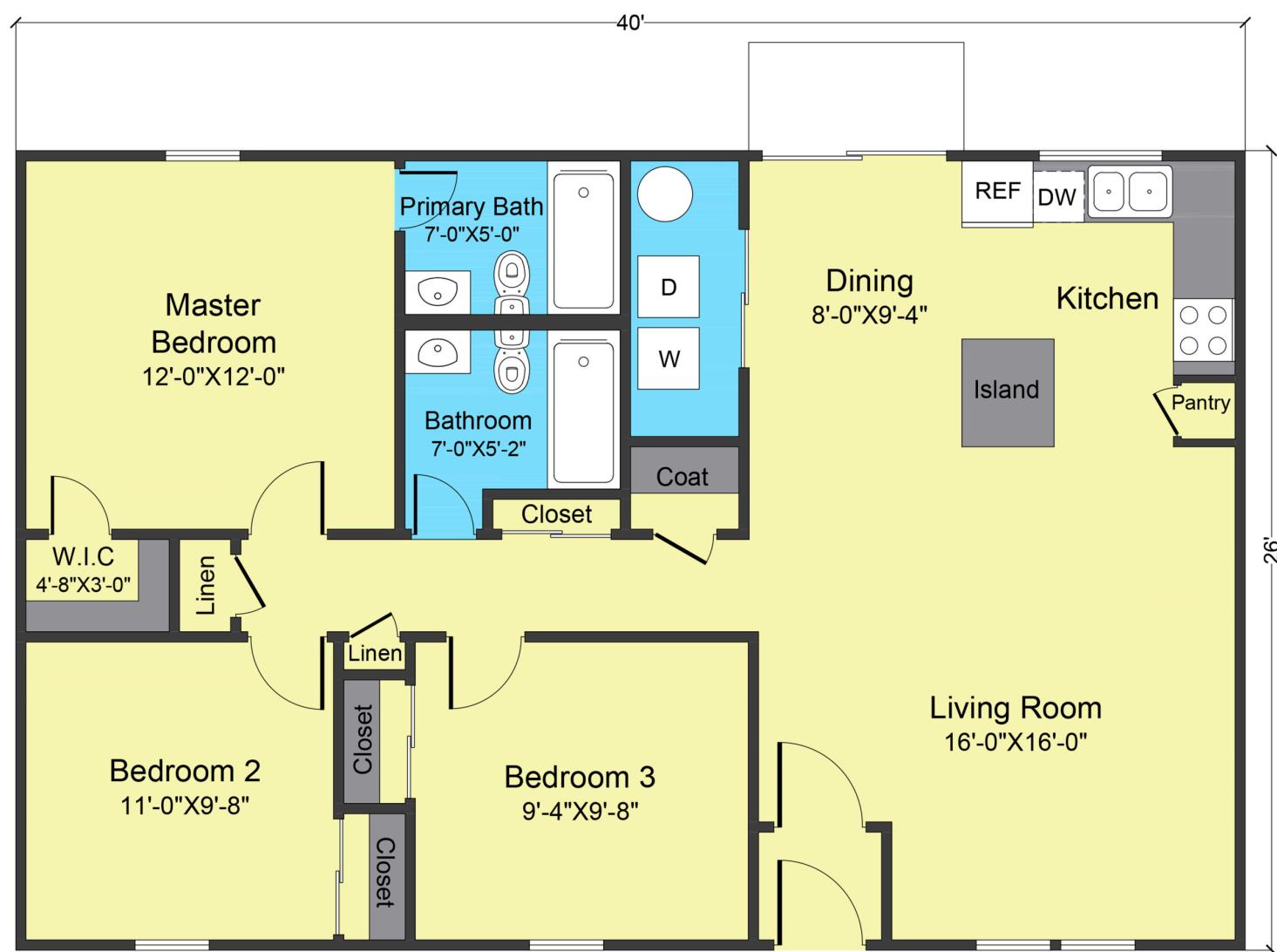


Telestial Model 1040

Custom Homes
Since 1974



Front Elevation



Floor Plan

Total Area = 1040.0sqft



Telestial Model 1058

Custom Homes
Since 1974



Front Elevation



Floor Plan

Living Area	= 1058.3sqft
Garage Area	= 378.8sqft
Porch Area	= 089.2sqft
Total Area	= 1526.3sqft

Garage
18'-0"X20'-0"



Telestial Model 1280

Custom Homes
Since 1974



Front Elevation

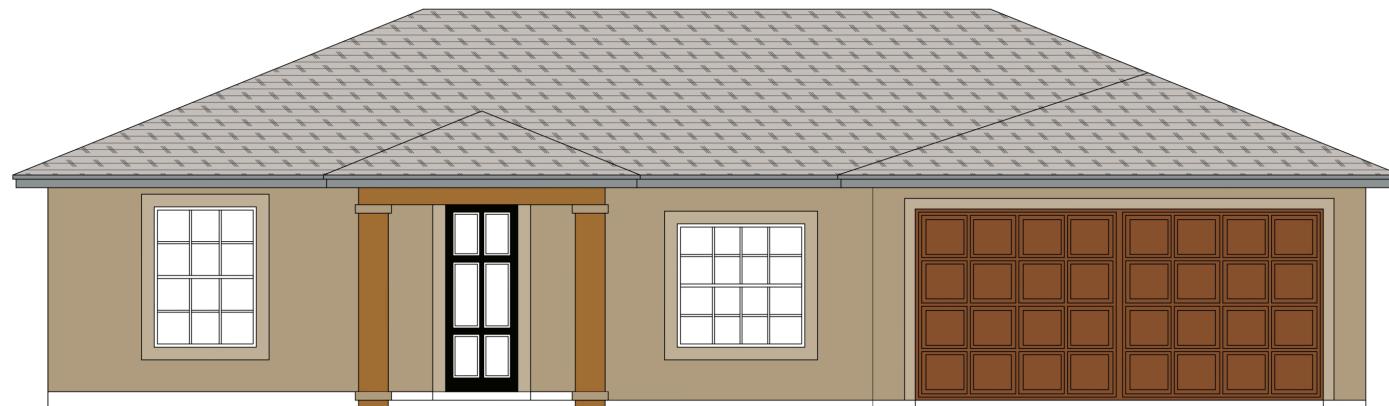


Floor Plan



Telestial Model 1478

Custom Homes
Since 1974



Front Elevation



Floor Plan

Living Area	= 1478.4sqft
Garage Area	= 380.3sqft
Porch Area	= 077.9sqft
Total Area	= 1936.6sqft



Celestial Model 1553

Custom Homes
Since 1974

A turnkey builder is a contractor who is fully responsible for a project's design and construction, delivering a finished, ready-to-use new home to the client. This means the builder manages the entire process, from initial planning and permits to the final finishing touches, and the client simply "turns the key" to move in or start operating the facility.



Front Elevation



Floor Plan

Living Area	= 1553.0sqft
Garage Area	= 383.0sqft
Porch Area	= 48.0sqft
Total Area	= 1984.0sqft



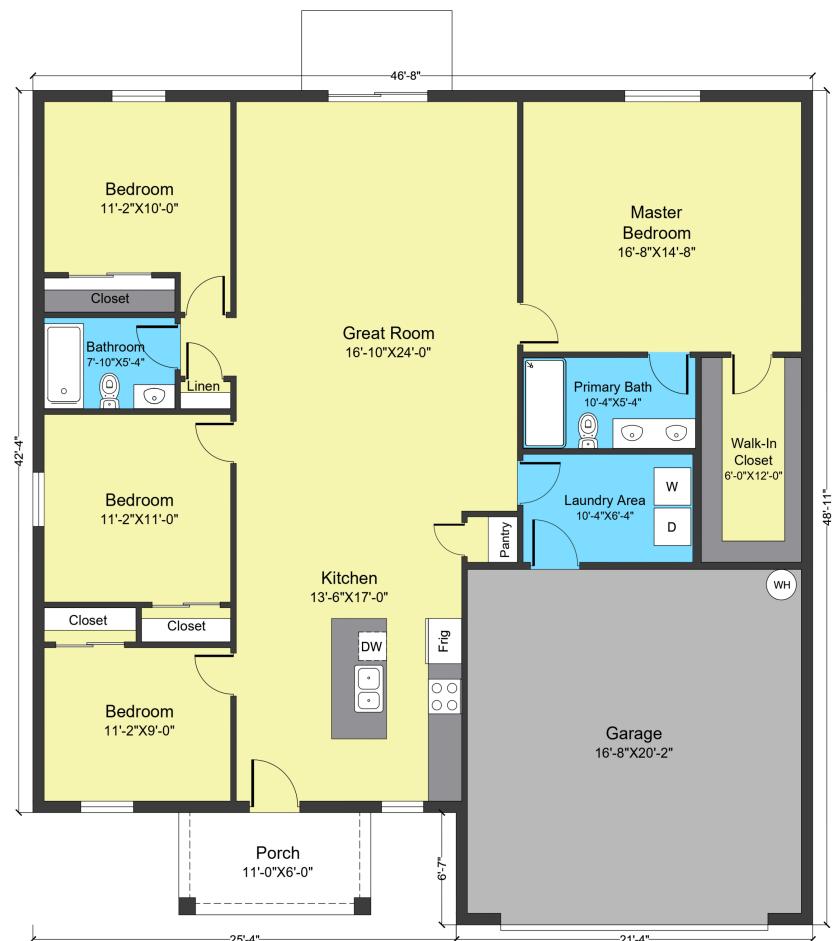
Celestial Model 1679-1728

Custom Homes
Since 1974

No Down Payment. Land equity is the value of a property of land minus any outstanding debts or mortgages on it. It can be used as collateral [for a down payment], such as a land equity loan, for purposes like home construction, land development, or purchasing more property.



Front Elevation



Floor Plan

Living Area = 1679.0sqft
Garage Area = 439.0sqft
Porch Area = 66.0sqft
Total Area = 2184.0sqft



Floor Plan

Living Area = 1728.0sqft
Garage Area = 368.0sqft
Porch Area = 66.0sqft
Total Area = 1262.0sqft



Celestial Model 1845

Custom Homes
Since 1974

Investing in a home. Predicting the exact future value of a home is impossible due to fluctuating market conditions. However, using historical average appreciation rates provides an estimation of a \$199,240 home's potential value in 15 years, ranging approximately from \$349,000 to over \$490,000 depending on the rate used.



Front Elevation





Celestial Model 1986

Custom Homes
Since 1974

Construction-to-permanent (C-to-P) financing is a type of loan that covers both the cost of building a new home and the long-term mortgage for the finished property, combining them into a single loan with a single closing process.

Call Wanda to see if you qualify for a C-to-P loan. 321.356.7655



Front Elevation





Celestial Model 3066

Custom Homes
Since 1974



Front Elevation



Floor Plan

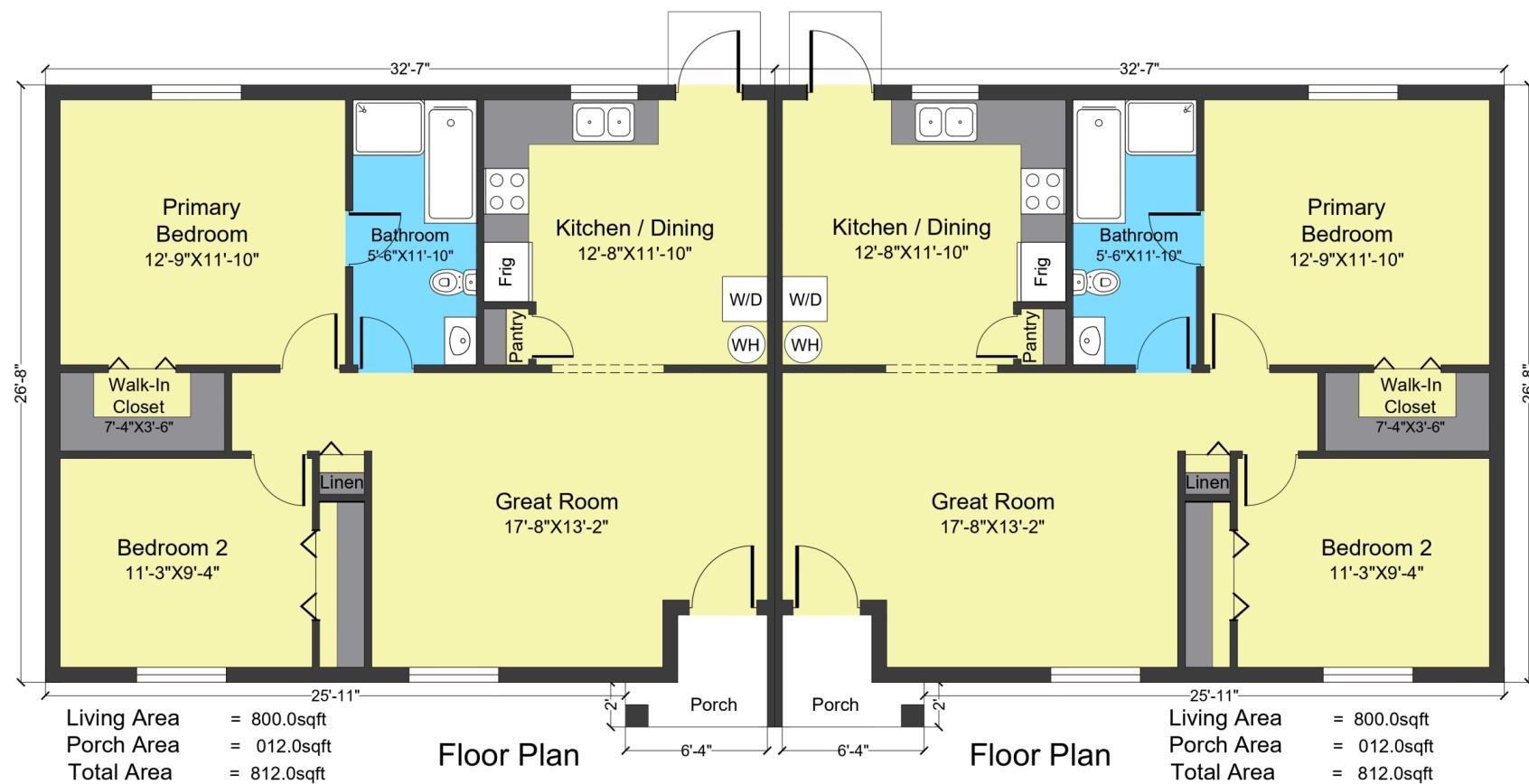


Telestial Model Duplex

Custom Homes
Since 1974



Front Elevation





Telestial Model Features

Custom Homes
Since 1974

Telestial Features
See options
Appliance stove, hood
Baseboards 3 1/4
Bathroom exhaust fans
Baths see plans
Blower door testing per building code
Car garage see plans
Energy efficient air conditioning per Florida Building Code
Entry door insulated and tested for air infiltration
Formica cabinets
Laminate counter tops
Front door 6'8" feet high
Garage door opener extra cost
Ground fault receptacles in kitchen, bathrooms, and garage
High ceilings 8 feet
Hose bibs-2 hose bibs outside
Insulating A/C duct work
Irrigation and timer for lawn extra cost
Ladder in garage, extra cost
Low E rated windows as required by Building code
Luxurious tile flooring extra cost
Off vents in soffit and roof
Termite bond-Owner can renew termite bond
Prewired for ceiling fans and lights
Prewired for one outlet in great or living room
R- 38 insulation in living area
R-13 insulation in exterior walls in living area
Sherwin Williams paint
Shower & Tub fiberglass-tile extra cost
Sliding glass door 7' feet high
Smoke detectors per building code
Structural warranty-10 year structural warranty per building code
Survey owner pays for surveying their surveying their building lot
Tray ceilings extra cost
One year-building warranty non transferable
Tile on floors and shower walls extra cost
Vaper barrier-6 mil vapor barrier under concrete in living area and garage
Vented Electric dryer
Water conservation in bathroom toilet, shower heads, and faucets per building code
Water heater 40 gallon
Window Storm protection per building code
* See plans & blueprints for details-owner responsible to sign plans



Celestial Model Specifications

Custom Homes
Since 1974

Celestial Specifications

All construction shall meet or exceed the standards for hurricane resistant residential construction codes Florida Building Code Residential 2023 8th Edition, and applicable local codes.

Section-1 Excavation Bearing soil type shall be Sandy Loom.

Section-2 Foundation Footing concrete mix shall be 3000 PSI. with reinforcing of 2-5/8" rods. Monolithic/Stim wall, footing/ termite protection with a five year warranty, with 6 mill visqueen beneath. 1- 5/8 continuous rod shall be used from footing to lintel in corners and cells poured solid with concrete rods tied together with wires at splices. See additional items on foundation plan.

Section -3 Exterior Walls All Sides of building shall have struck blocks (stucco extra) finish unless otherwise noted. Masonry construction shall be 8" thick concrete blocks. Door sills, windowsills, and lintels shall be precast with rods. Furring shall be 1/2 pretreated pine 24" o.c.

Section -4 Floor framing Shall be a ground supported concrete slab. Concrete mix shall be 3000 PSI and be 3-1/2". Reinforcing shall be fiberglass? over compacted sand fill material of at least 8"thick.

Section-5 Partition Framing Studs shall be #2grade spruce species of 2x4 with sole plates pressure treated. Spacing of studs shall be 24" o.c. Interior load bearing walls shall have a stud spacing of 16" o.c.

Section-6 Ceiling Framing Ceiling framing shall be trusses. Trusses shall be yellow pine. Truss straps anchored to lintels secured to each to truss.

Section- 7 Roof Framing/Sheathing shall be aspenite. The shingles shall be grade 'A' , size 37 fiberglass Architectural shingles, with a 25 year warranty. Underlayment shall be synthetic and shall be fastened with nails. Nails shall be galvanized 8 gauge nails. Facia shall be white aluminum unless otherwise stated.

Section-8 Drywall shall be sheetrock 1/2 thick with texture on walls/ceilings with orange peel (knock-down extra) finish. Joint treatment shall be taped and sanded.

Section -9 Decorating Kitchen shall have a wall finish of approved paint with a ceiling finish of primer and one coat of approved paint. Bath shall have a wall finish of approved paint. Other areas shall be finished with primer/latex approved paint.

Section-10 Interior Doors and Trim Door type shall be 6 panel Masonite prehung interior doors. Door trim shall be type colonial and make of pine with a base type of 2 piece pine size 2-1/4" and shall be primed and painted.

Section-11 Windows shall be single hung MI 3540 Vinyl Glass grade Low-E Insulated. Balance constant force. Trim type sheet rock return. Heavy duty weatherstripping. All screens shall be fiberglass 6/18 mesh.

Section-12 Entrances and Exteriors Main entrance door shall be steel or fiberglass of a width of 36" thickness of 7/4 8' high. Framing shall be fir with a thickness of 7/4. Other exterior entrance doors shall be steel or fiberglass with a width of 32" and with a framing material of fire and shall be 7/4. Head flashing shall be caulking. Weather stripping shall be magnetic. Door from home into garage shall be solid wood core.

Painting shall be Sherwin Williams approved latex paint.

Section -13 Cabinets and Interior Details Kitchen cabinets, wall units, material shall be factory built color shall be white. Cabinet units shall be plywood/wood. Tops shall be Quartz or Granite Backsplash shall be Tile.

Section-14 Special Floors and Wainscot Kitchen and bathroom floors shall be tile. Threshold material shall be aluminum. Wall base material shall be pine. Under floor material shall be concrete slab. Bathroom walls shall be painted with approved Sherwin Williams paint. Height of the tile over tub shall be to ceiling. Bathroom accessories shall be recessed ceramic.



Celestial Model Features

Custom Homes
Since 1974

Features: Celestial model feature all upgrades to create beauty, durability, and value.

Accent lighting highlights tray ceilings, adds depth and visual interest.

Appliances are made of quality stainless steel. The appliance package includes refrigerator, range, microwave oven, dishwasher, disposal.

Baseboards are 5 1/4 " to create grandeur and elegance.

Bathrooms: Primary bathroom features a large shower and the hall bathroom is a full bathroom. Both have beautiful upgraded doors, and large tile to create value.

Ceiling the soaring ceilings reaches nine feet four inches high (9'4"), tray ceiling reach ten feet (10' 4") high.

Closing cost allowance of six thousand dollars (\$6,000.00) paid by builder.

Corner lot- the home is built on a corner lot, giving increased visibility, larger size, more curb appeal, and increased value.

Floor plan is an open concept floor plan that maximize natural light, enhance social interaction, and creates a sense of spaciousness.

Floor tile is luxurious (14" x16") floor tile that creates durability, aesthetic appeal, and easy maintenance.

Front door is an 8-foot high glass panel door that is taller-than-standard doors, measuring 96 inches in height. It is designed to make a bold statement and offer a more spacious and grand entrance to your home. It is blower tested for air infiltration.

Garage is a two (2) car garage with a remote garage door opener; eight feet high (8') high for tall pickup trucks.

Great room is spacious, with accent lighting, and gigantic tray ceiling.

Home warranty one year warranty with a ten (10) year structural warranty.

Homeowners Association: NO homeowners association.

Irrigation system has an automatic timer that allows schedule watering time for optimal time of day.

Kitchen is designed with large counter space, more storage, and improves functionality and social atmosphere. The top is made of Quartz to increase value and beauty, and 42" high cabinets for more storage.

Ladder in the garage is easy to access the ceiling to store and retrieve items.

Landscaping is installed based on city, county or state code, and base on Telestial or Celestial home.

Master or Primary bedroom features a large tray ceiling with accent lighting, split bedrooms, with a very large walk-in closet of six feet by twelve foot (6'x12') long. Large tile on the shower walls create a more spacious and modern look with less maintenance. Shower has beautiful upgraded glass door creates quality and beauty.

Paint is Sherwin Williams quality & durability; washability & maintenance, mildew resistant, and high quality finish paint.

Quartz counter tops are above granite due to their non- porous nature, which makes them more stain and bacteria-resistance, and lower maintenance requirements.

Sliding glass door is six feet wide to bring wide objects into the house, and leads to your backyard for activities, especially dogs can run and play, enjoy a garden to grow healthy vegetables, and other activities for friends and neighbors.

Spigots two spigots or hose-bibs are outside the house, for gardening and one for general use. A third spigot with hot water is an option.

Sod 6000 sqft of sod included owner may obtain extra sod is an option.

Stucco is smooth because it creates Clean and Modern Look, it offers a sleek, flat, and polished surface that complements various architectural styles, particularly modern and minimalist designs.

Tile is Luxurious tile flooring throughout the house to enhance the aesthetic appeal, durability, and value of the house.

Tray ceilings in the great room and primary bedroom with accent lighting adds beauty to your bedroom and great room.

Wood cabinets with easy closure or soft-close doors stop shaming doors causing wear and tear, leading to loose hinges, misalignment, and damage to wood and finish.

Z: With this luxurious finishes, corner lot, prime location, captivating home-schedule a private tour today



Telestial Model Options

Custom Homes
Since 1974

Options

We start with the basics of building your home to save you money. You make the decision to include items listed below:

Air Conditioning Duck In Lanai & Garage

Cabinets next to front door in model 1845

Ceilings: 9'4" or higher ceilings

Ceramic tile in shower bathrooms.

Electrical extra sockets or other electric items above code requirements.

Front door upgrade

Front porch

Garage: increase the size of the garage and master bath and bedroom

Granite on kitchen & bathroom tops

Insulation in ceiling in garage

Insulation in Lanai Ceiling

Irrigation

Kitchen Cabinets: more cabinets than is needed based on the cost of the model square footage.

Ladder in garage

Lanai

Lanai Enclose

Larger Air Conditioning Unit for garage and Lanai

Lazy Susan in the corner cabinet

Lighting bathrooms more than code requires.

Lot clearing, fill dirt and preparation per building house

Mirrors

Side door in garage

Sod extra sod for larger lots or more than required by city or county

Stucco sides and rear

Stucco: stucco entire house

Towel bars

Tray ceilings

Upgrade landscaping

Widow more than one window in bedrooms, living room or elsewhere.

Window In Master Bathroom

Window not required by code.

Window In Hall Bathroom



Telestial Model 1280

Custom Homes
Since 1974

- **Below Market Fixed Rate**
- No down payment
- No closing costs
- No fees
- No mortgage insurance
- No consideration of credit score

Call 863.287.5981 to see if you qualify.



Front Elevation



Floor Plan



Celestial Model

Custom Homes
Since 1974

Meadows Realty and Construction Co., LLC

This Contract is made between the contractor whose address is 404 Ridgewood Avenue, Dundee, Fl. 33838 Email: BigW1937@aol.com Web: www.gomrc.net (863) 287-5981 FL LIC # CBC1250530, referred to as the "Contractor," AND the Property Owner(s) referred to as the "Owner"
(Name, address, phone ,email)

The house will be built at _____.
(Name, address, phone ,email)

1.MEADOWS REALTY AND CONSTRUCTION CO., LLC to build the house for \$ _____

Work (referred to as the "work") in accordance with this Contract. All work will be done in a good, sound, and workmanlike manner.

2.The work will begin after the permit is obtained and complete in a reasonable time.

3.The work is described as follows: See attached here to (plans). The work will be completed exactly in accordance with the Drawings, Plans and

Specifications made by the Draftsman, Certified by Engineer and or Architect.

4.These Drawings, Plans and Specifications are signed by the Owner or their approved agents and identified as follows: Copies of said Drawings,

Plans, and Specifications are attached hereto as Schedule the Owner will provide the Contractor with all the drawings and explanations as required

to indicate the work to be done.

5.The Contractor will follow these drawings and explanations if they are consistent with the original Drawings, Plans and Specifications. Plans and specifications will be in accordance with electrical code and number of outlets. Any extract outlets will be extra cost to owner.

6. Compliance with Laws. The Contractor will comply with all applicable Federal, State, and local laws regarding work, materials and the safety of

persons or property. The owner will not be responsible for any loss or damage to the work or any property of the owner.

7. Arbitration of Disputes. Either the Owner or the Contractor may submit any dispute related to this Contract to arbitration in accordance with the

American Arbitration Association's Construction Industry Arbitration Rules. The decision will be binding upon both the Owner and the Contractor.

8. No Oral Changes. This Contract can only be changed by an agreement in writing signed by both the Owner and the Contractor. no variations,

alterations, deviations, deletions, or extra work can be made unless both the Owner and the Contractor specifically agree in writing.

9. Failure to Complete Work. The contractor must properly and diligently complete the work provided for in this Contract. Any additional cost to

complete this work will not be charged to the Contractor.

10. Failure to Pay Contractor. The Contractor may stop work and terminate this Contract if the Owner fails to pay the Contractor and/or Subcontractors any sum within days after the date fixed for payment. The Owner must then pay for all work which has been completed together with the contractor's profits and damages.



Celestial Model

Custom Homes
Since 1974

11. Fire Insurance. The Owner will protect all buildings as well as any work and materials used in the buildings against fire. The policy will provide

for extended coverage in the names of both the Owner and the Contractor.

12. Other Insurance The Contractor and owner will maintain Liability insurance coverage required under the Laws of Florida. The contractor will

maintain general public liability insurance protecting the Owner from liability for injuries to persons or property which occur on or about the Property. The insurance will provide limits of not less than for injuries to any one person, and for injuries in any one accident or occurrence, and for

loss or damage to property. The contractor will protect the owner from all claims and liability related to the construction or repair work.

Owner

will maintain liability insurance for property or other items on the property.

13. The Contractor and Subcontractor will have access to these materials and work at all reasonable times.

14. Care of Property. The contractor will protect the work, materials, property and adjacent property from damage or loss. The contractor will also

take proper precautions for the safety of the public. The Property will be kept free of waste, rubbish, and surplus materials. The contractor will

leave the Property "broom clean" before being entitled to the final payment under this Contract. The contractor and Subcontractors will also pay

for, repair, or replace any damage or loss caused by failure to perform this Contract.

15. Permits. Builder pays for permits and all expenses to build the house.

16. Payments. The Owner will pay the Contractor according to the terms of this Contract. BUILDER WILL RECEIVE AN UPFRONT DRAW FOR PERMITS AND COMPLETION OF FOOTER AND SLAB. OTHER DRAWS WILL BE BASED ON PERCENTAGE COMPLETION FROM OWNER CONSTRUCTION TO PERM CONTRACT. OWNER PAYS INTEREST ON CONSTRUCTION TO PERM LOAN.

17. Contractor Continuing Liability. The contractor will be liable for defective, faulty, or improper materials. And liable for workmanship. Upon demand, the Owner will immediately remedy all defects, faults or omissions and complete all unfinished work. The Contractor's obligations will not be affected by the issuance of an Architect's Certificate.

18. Notices. All notices under this Contract must be in writing. The notices must be delivered personally or mailed by certified mail, return receipt requested, to the other party at the address written in this Contract or to that party's attorney.

19. Parties. Both the Owner and the Contractor are bound by this Contract. All parties who lawfully succeed in their rights and responsibilities are also bound.

20. NOTICE TO OWNER. Do not sign this contract if it is blank.. You are entitled to a copy of the contract at the time you sign. Keep it to protect your legal rights. Do not sign any completion certificate or agreement stating that you are satisfied with the entire project before this project is complete. Home repair contractors are prohibited by law from requesting or accepting a certificate of completion signed by the owner prior to the actual completion of the work to be performed under the home repair contract.

21. All Subcontractors must have license approved by the City/County and workman's compensation or a certificate of exemption from the State of Florida to work on this job or may be qualified by Contractor or other Venture agreement with Contractor.

Scope of Work: Plans and specification contain the scope of work.

22. Signatures. Both parties sign and agree to this Contract. THE OWNER ACKNOWLEDGES RECEIPT OF A COMPLETELY EXECUTED COPY WITHOUT CHARGE. If errors are found in this contract an addendum will clarify the error; however, will not void all information in this contract.

Witnessed or Attested by: _____ (Seal)

Owner

_____ (Seal)

Owner



Telestial Model 1180

Custom Homes
Since 1974

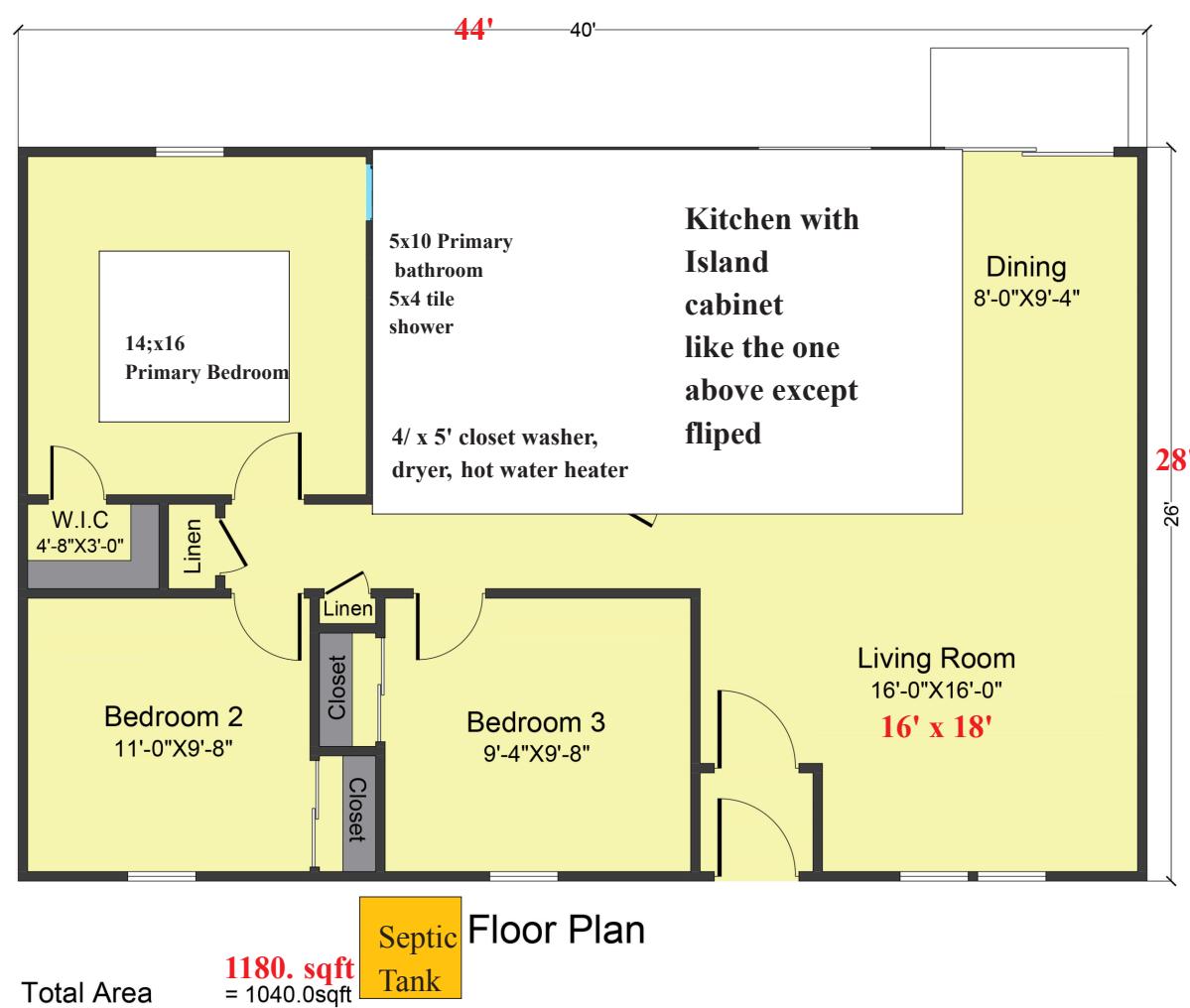


Front Elevation



Floor Plan

FRONT ELEVATION



Expanding the house adds 140 sqft x 89 = \$22,900 - \$225,280.00

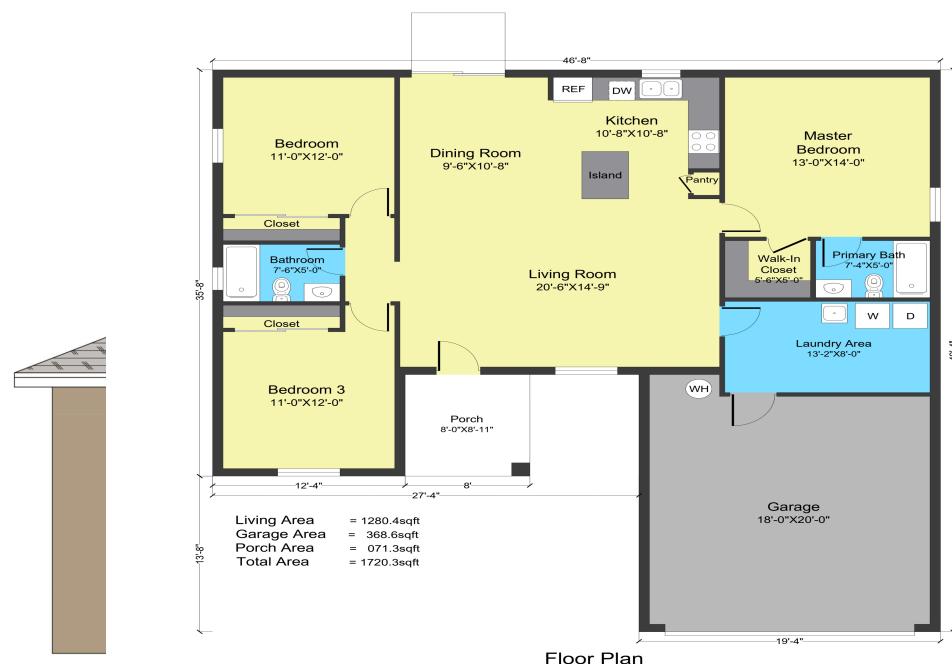


Telestial Model 1180

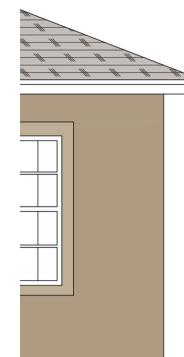
Custom Homes
Since 1974



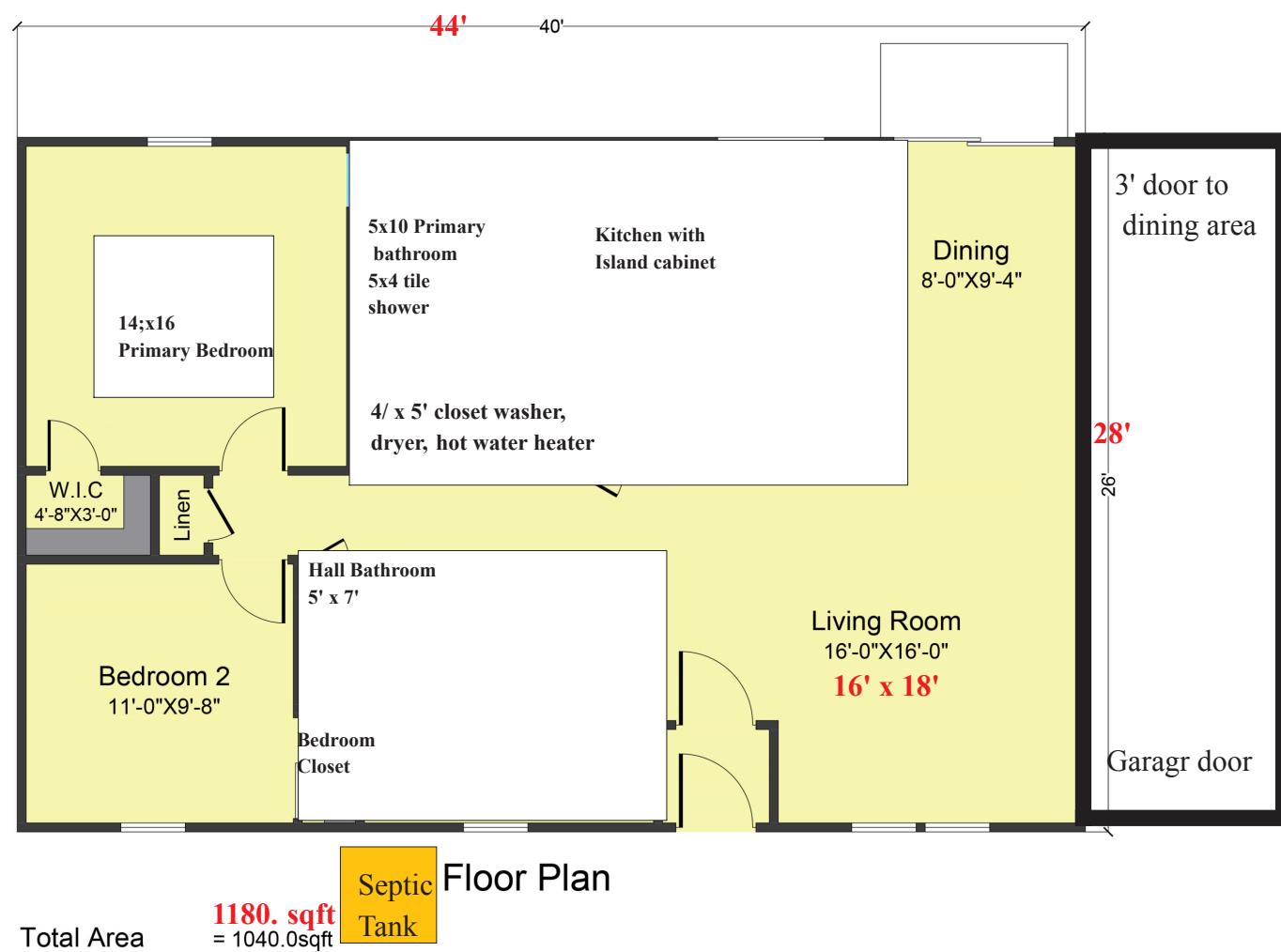
Front Elevation



itchen like this one e



FRONT ELEVATION



Expanding the house adds 140 sqft x 89=\$22,900 - \$225,280.00

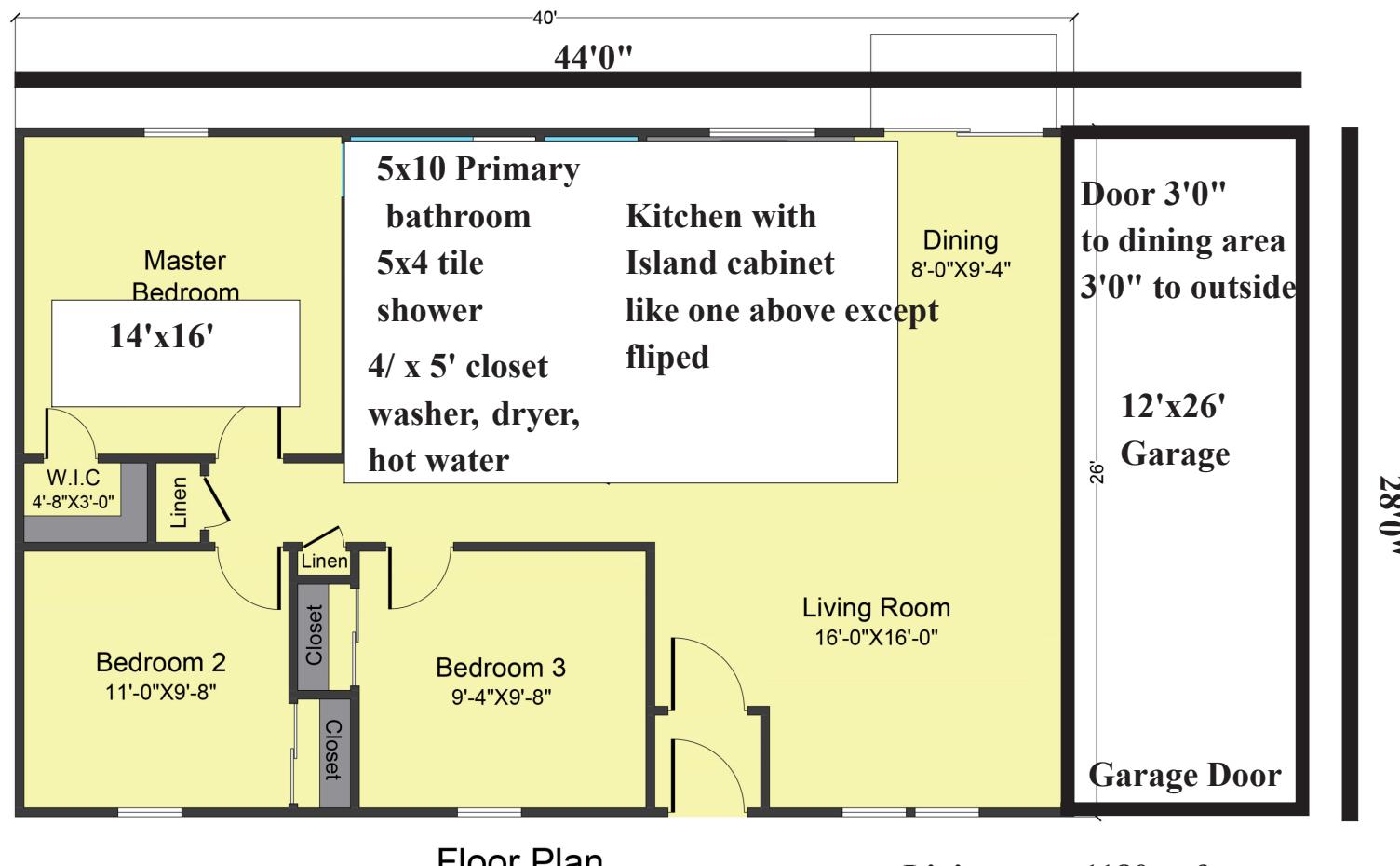
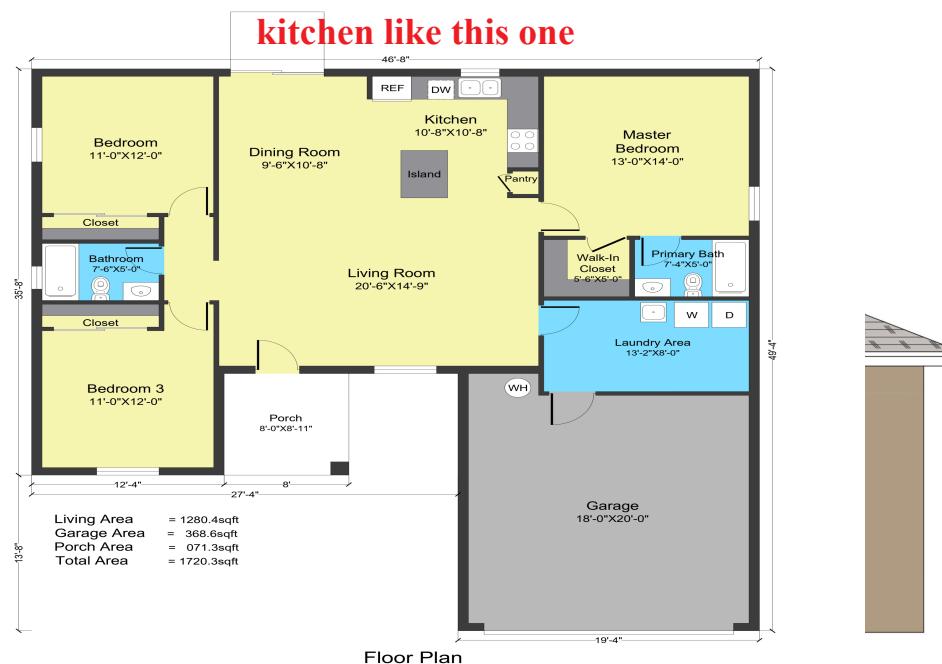
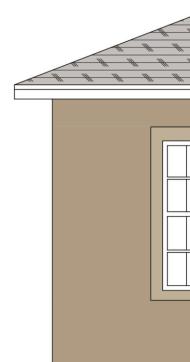


Telestial Model 1040

Custom Homes
Since 1974



Front Elevation



Total Area = 1040.0sqft

Living area 1180 sqft

Garage 312 sqft

Total 1492



Telestial Model 1180

Custom Homes
Since 1974



Front Elevation



Chnge kitchen like
this kitchen

Floor Plan



Chnge kitchen like
the one above

Floor Plan

Total Area = 1040.0sqft



Telestial Model 1180

Custom Homes
Since 1974

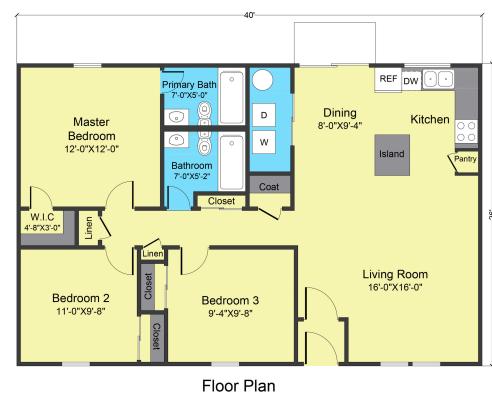


Front Elevation



Chnge kitchen like the one above

Lanai will be a screen enclosure lanai.



Living area 1092

Garage 240

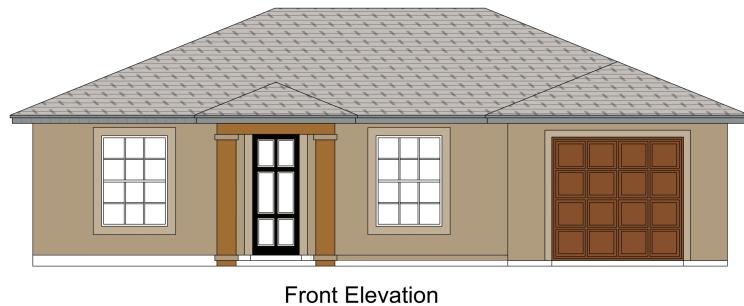
Total 1332

*Coleman Road Apartments by Waymon Meadows
Winter Haven Florida*





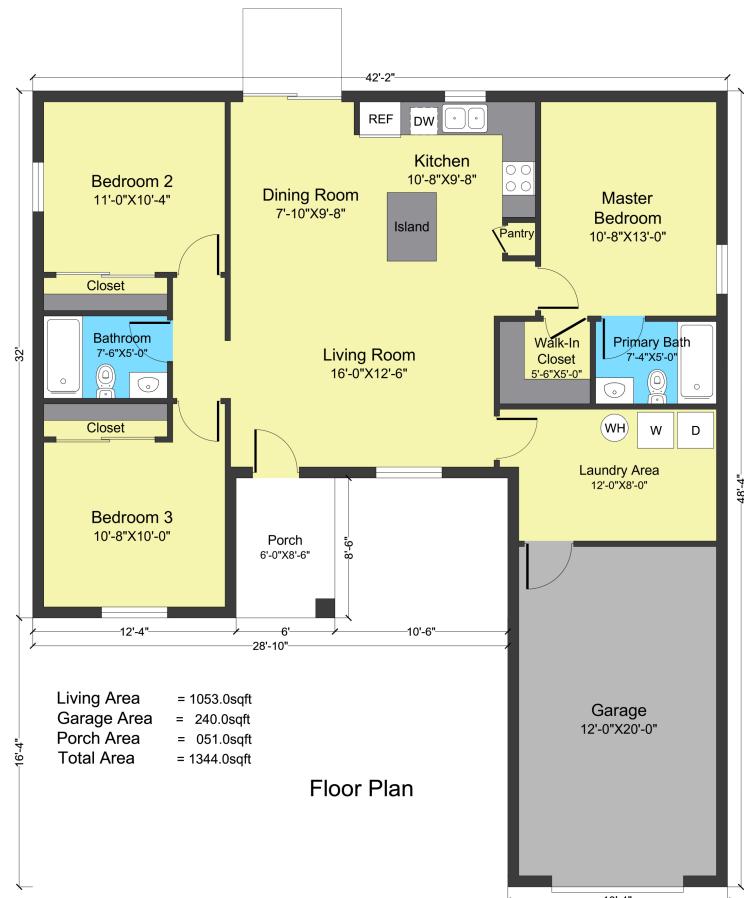
1. WHY ARE YOU THINKING OF BUILDING A NEW HOME ON YOUR LOT?
2. ARE YOU A MOVE-UP BUYER, A DOWNSIZER BUYER, A FIRST- TIME HOME BUYER, OR A NEW HOME INVESTOR?
3. HOW SOON DO YOU WANT TO BE IN YOUR NEW HOME?
4. HAVE YOU BOUGHT A NEW HOME IN THE PAST?
5. HAVE YOU BEEN PRE-APPROVED?
6. WHEN CAN WE MEET TO DISCUSS IF YOU QUAIFY FOR A MORTGAGE TO BUILD A NEW HOME ON YOUR LOT?



Front Elevation



Front Elevation



Floor Plan



Floor Plan



Telestial Model 1040

Custom Homes
Since 1974

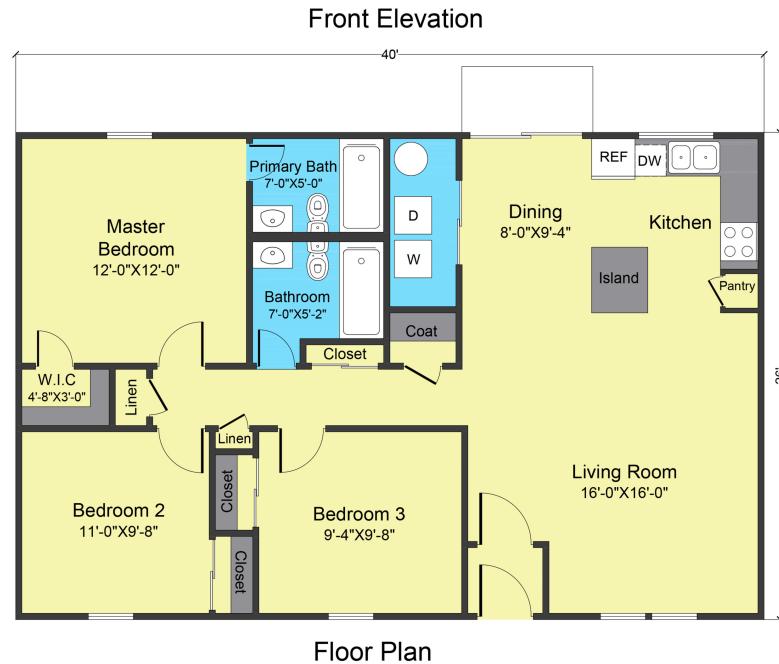
Trust: Can I trust this builder to make my dream home a reality? *Trust in a builder must be earned thorough research and vetting; it cannot be assumed. To determine if you can trust a specific builder, you must evaluate their reputation, experience, transparency, and legal compliance. MRC provides a Surety Bond if necessary for commercial projects.*

Experience: Does MRC build on lots like my lot? Whether MRC can build on your lot depends entirely on the builder's policies, their experience with similar lot types, and local zoning/building restrictions. Waymon Meadows specialized for over 50 years building on peoples lots, and working with zoning and building restrictions, even getting zoning changes. He served on Polk County Board of Adjustment for seven years.

Cost: How much will it cost to build a home on my lot, and what's included? The cost to build a home on your lot in Polk County, FL, varies widely, with \$150 to \$200+ per square foot for the structure itself, plus other significant expenses like land, site prep, impact fees, and permits.



**Builder
Since 1974**



Well
Septic Tank
Closing Cost
Lot Prep.
Certified custom plans
Block house
Tile floor and tile shower

Does not include:
Impact fee
Garage

Total Price \$199,240

Owners Responsibility

Pay Cash or get a mortgage
Make application today
Apply Wanda 321.356.0043
Special ends 11-30-2025
Guaranteed price is for 30 days



Telestial Model 1040

Custom Homes
Since 1974

How much will your house appreciate in 15 years?

Go to my website, please call Waymon 863.287.5981, if you need help with the website or need a custom plan (no extra cost). Do your homework, using my website and internet. I know you would invest \$199,240 in a new home if it increased to \$350,000 in 15 years. That is a no brainier!

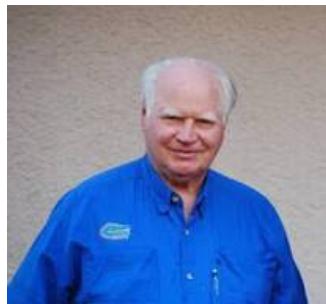
According to AI (artificial Intelligence) investing \$199,240 today in a new home in central Florida would grow to **\$346,000- \$650,000 in 15 years**. Please write this down: **At a modest 3.9% annual appreciation, a \$199,240 home in Central Florida could be worth around \$350,000 in 15 years. Do you have \$199,240 in cash or enough money in 401K to pay cash for a new home, or good credit to qualify for a mortgage?** Investing in a

Unapproved applicants are released to make room for others

To those who saw my sign on the highway: Thank you for your interest in our new home program. Because of the strong demand we **can only offer a limited number of homes** at our special price of **\$199,240**.

To reserve your opportunity, **please submit your application to obtain an approval letter within the next 30 days**. After that date, we'll need to release unapproved applicants to make room for others on our waiting list of over 100.

We truly value your interest and want to help you secure this opportunity while it's still available. Please call **321.356.7655** if you have any questions or need help completing your application.



**Builder
Since 1974**



Front Elevation



Floor Plan

Total Area = 1040.0sqft

Includes Allowances On Your Lot:

Well
Septic Tank
Closing Cost
Lot Prep.
Certified custom plans
Block house
Tile floor and tile shower

Does not include:

Impact fee
Garage

Total Price \$199,240

Owners Responsibility

Pay Cash or get a mortgage
Make application today
Apply Wanda 321.356.0043
Special ends 11-30-2025
Guaranteed price is for 30 days



Telestial Model 1040

Custom Homes
Since 1974

- Below Market Fixed Rate
- No down payment
- No closing costs
- No fees
- No mortgage insurance
- No consideration of credit score

Call 863.287.5981 to see if you qualify.

Special Ends 11-30-2025

\$199,240

**Waymon Meadows is Florida
State Certified Builder License #
CBC 1250530 Since 1974**

Every Home is a Custom Home
MRC/s Goal is 100% Quality with a
10 year Structural Warranty.



Become Wealthy starting with a \$199,240 home. In 15 years it will be worth between \$268,000 and \$477,000 with more likely middle scenario abound \$350,000. In 30 years the value about \$480,000 to \$650,000, and of \$565,000. AI

How much equity will you buy
renting?

With a credit score of 680 you
obtain a C-and-P Loan-One time

Call Wanda 321.356.7655 to
you qualify for a C-and-Mortgag

Call for appointment to see M
Home at 1432 Little Joe Ave., Se
FL Waymon Meadows
863.287.5981



Celestial Model 1679
1432 Little Joe Avenue
Sebring, FL 33872
Listed for \$376,720

1. WHY ARE YOU THINKING OF BUYING A NEW HOME ON YOUR LOT?
2. ARE YOU A MOVE-UP BUYER, A DOWNSIZER BUYER, A FIRST- TIME HOME BUYER, OR A NEW HOME INVESTOR?
3. HOW SOON DO YOU WANT TO BE IN YOUR NEW HOME?
4. HAVE YOU BOUGHT A NEW HOME IN THE PAST?
5. HAVE YOU BEEN PRE-APPROVED?
6. WHEN CAN WE MEET TO DISCUSS YOUR NEW HOME ON YOUR LOT?

Includes Allowances On Your Lot:

Well
Septic Tank
Closing Cost
Lot Prep.
Certified custom plans
Block house
Tile floor and tile shower
Turnkey job

Does not include:

Impact fee
Garage

Total Price

\$199,240

Owners Responsibility

Pay Cash or get a mortgage
Make application today
Apply Moises 954.534.5111
Special ends 11-30-2025
Guaranteed price is for 30 days



Front Elevation



Total Area = 1040.0sqft

