

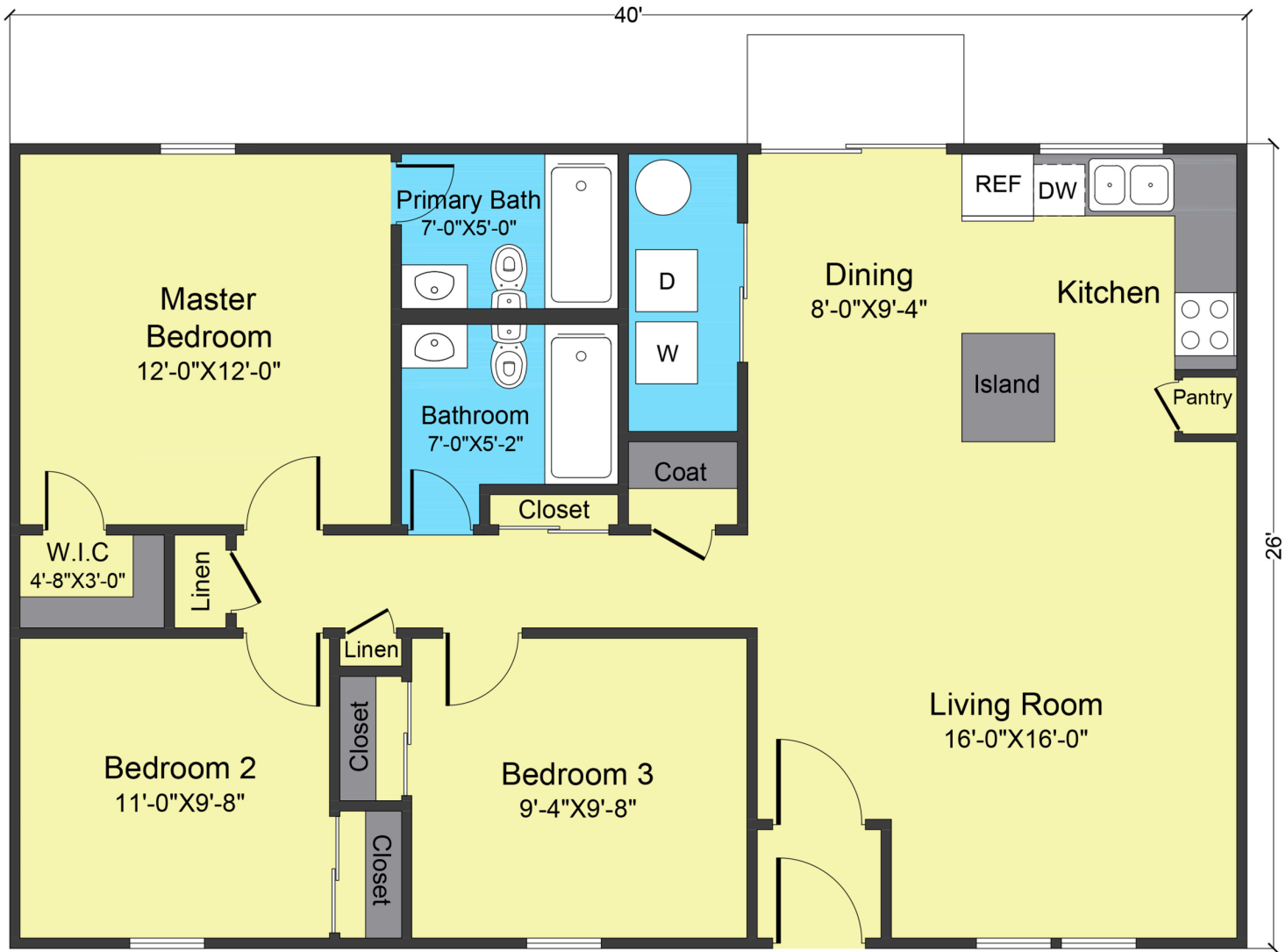


# Telestial Model 1040

Custom Homes  
Since 1974



Front Elevation



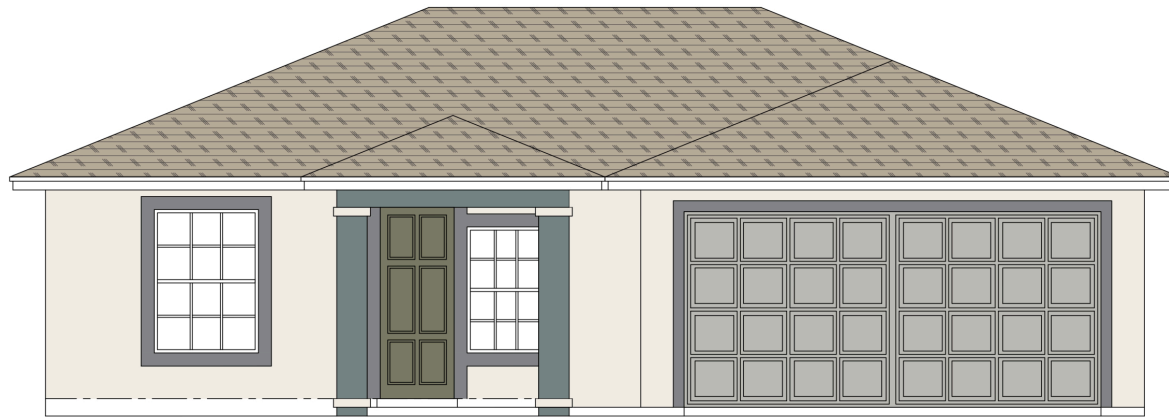
Floor Plan

Total Area = 1040.0sqft



# Telestial Model 1058

Custom Homes  
Since 1974



Front Elevation



Floor Plan





# Telestial Model 1280

Custom Homes  
Since 1974



Front Elevation

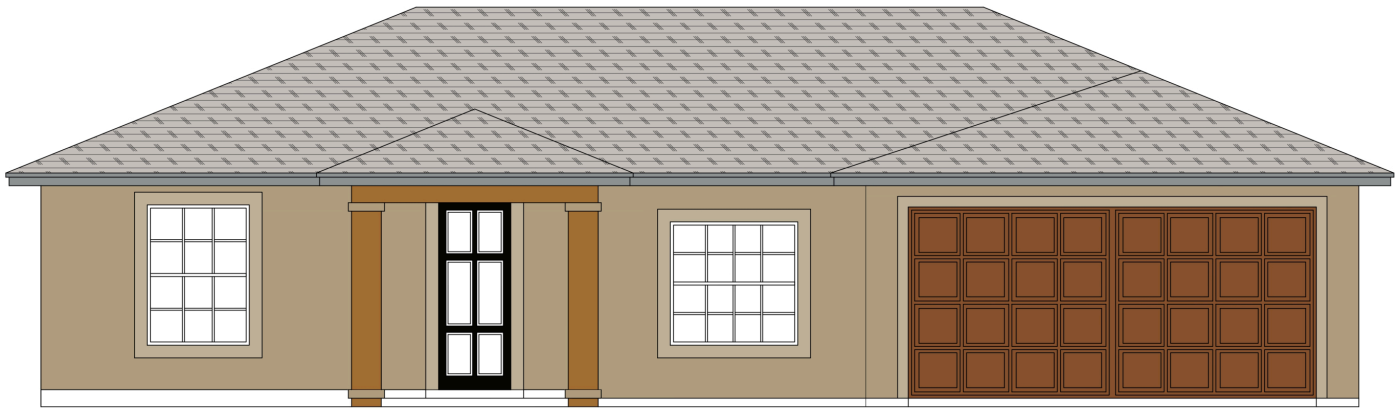


Floor Plan



# Telestial Model 1478

Custom Homes  
Since 1974



Front Elevation



Floor Plan



A 2D architectural elevation of a house. The house has a gabled roof with a brown, textured pattern. The exterior walls are a light beige color. On the left side, there is a single window with a dark grey frame and a white grid pattern. In the center, there is a dark green door with a white grid pattern, flanked by two dark grey columns. To the right of the door is another single window, identical to the one on the left. On the far right, there is a large double door with a dark grey frame and a white grid pattern. The roofline is a simple gable shape.

47'-8"

50'-4"

Bedroom 3  
12'-0"X11'-0"

Bedroom 2  
12'-0"X11'-0"

Master Bedroom  
14'-0"X14'-0"

Dining Room  
10'-4"X11'-0"

Living Room  
16'-4"X19'-0"

Kitchen  
12'-4"X11'-0"

Primary Bath  
7'-4"X5'-0"

Bathroom  
8'-5"X5'-4"

Laundry Area  
13'-2"X8'-0"

Garage  
18'-0"X20'-0"

Porch  
8'-0"X6'-0"

Closet

Closet

Closet

Walk-In Closet  
7'-0"X8'-0"

Linen

Island

Pantry

Frig

DW

A/H

WH

W

D

Living Area = 1553.0sqft  
Garage Area = 383.0sqft  
Porch Area = 48.0sqft  
Total Area = 1984.0sqft

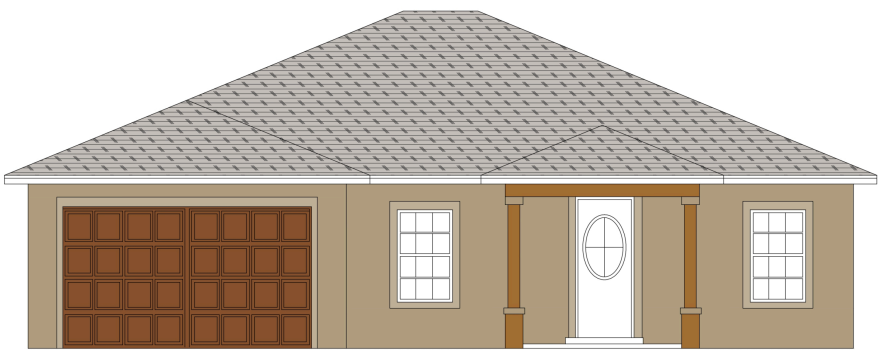
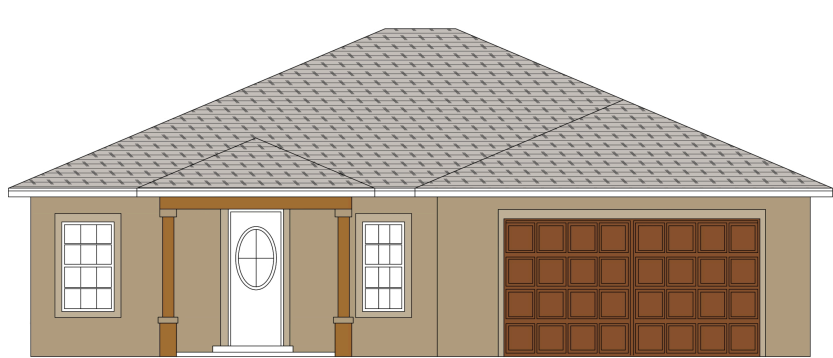
Living Area = 1553.0sqft  
Garage Area = 383.0sqft  
Porch Area = 48.0sqft  
Total Area = 1984.0sqft



# Celestial Model 1679-1728

Custom Homes  
Since 1974

**No Down Payment:** Land equity is the value of a property of land minus any outstanding debts or mortgages on it. It can be used as collateral [for a down payment], such as a land equity loan, for purposes like home construction, land development, or purchasing more property.



Front Elevation



Living Area = 1679.0sqft  
Garage Area = 439.0sqft  
Porch Area = 66.0sqft  
Total Area = 2184.0sqft

Floor Plan



Living Area = 1728.0sqft  
Garage Area = 368.0sqft  
Porch Area = 66.0sqft  
Total Area = 1262.0sqft

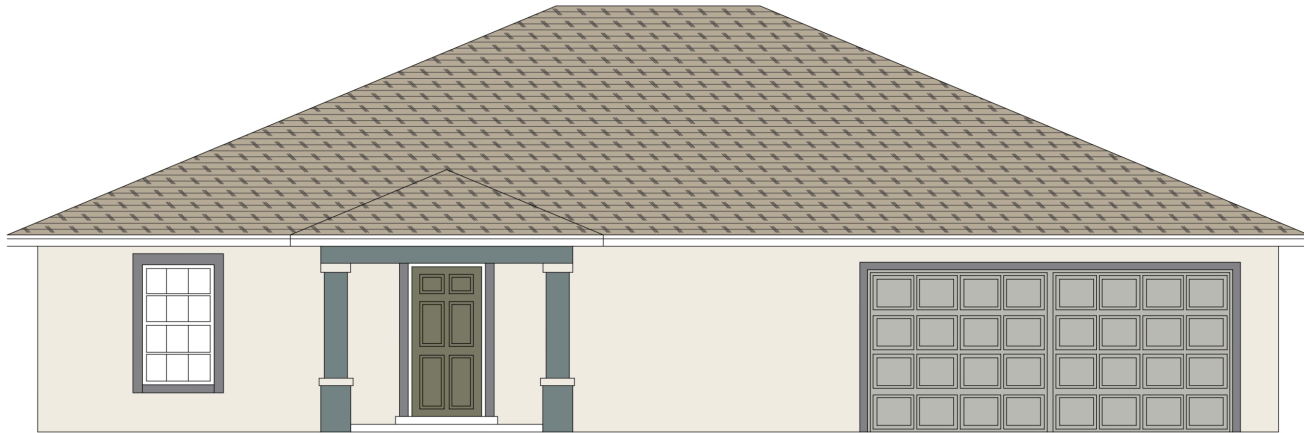
Floor Plan



# Celestial Model 1845

Custom Homes  
Since 1974

**Investing in a home.** Predicting the exact future value of a home is impossible due to fluctuating market conditions. However, using historical average appreciation rates provides an estimation of a \$199,240 home's potential value in 15 years, ranging approximately from \$349,000 to over \$490,000 depending on the rate used.



Front Elevation



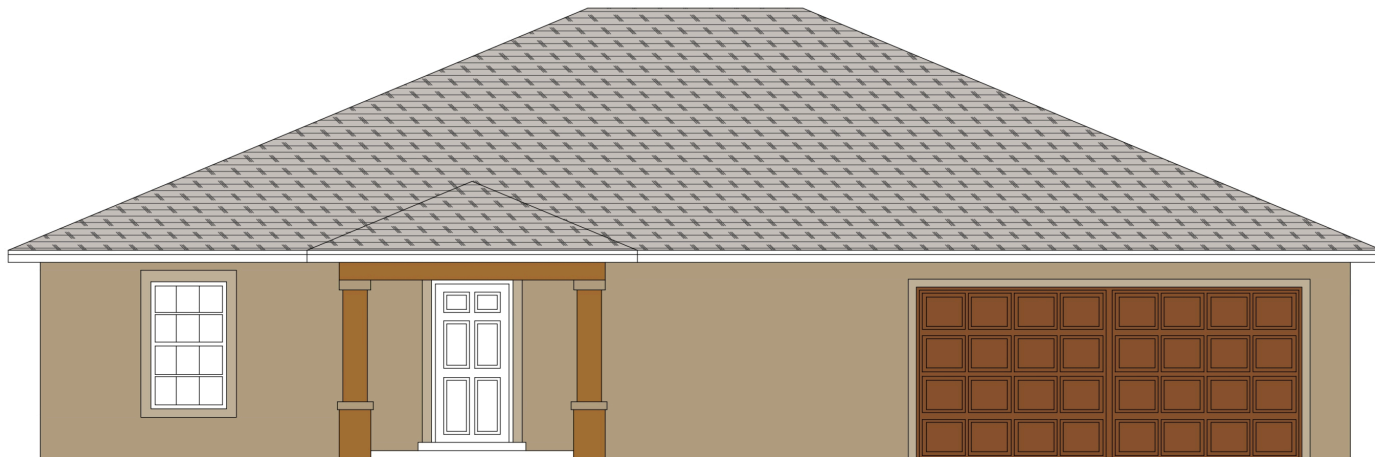


# Celestial Model 1986

Custom Homes  
Since 1974

**Construction-to-permanent (C-to-P) financing** is a type of loan that covers both the cost of building a new home and the long-term mortgage for the finished property, combining them into a single loan with a single closing process.

Call Wanda to see if you qualify for a C-to-P loan. 321.356.7655



Front Elevation





# Celestial Model 3066

Custom Homes  
Since 1974



Front Elevation

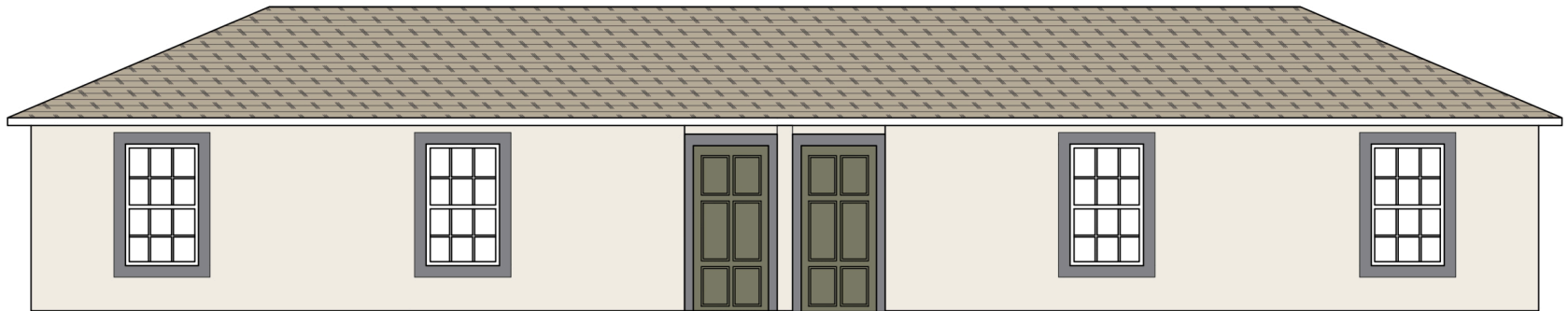




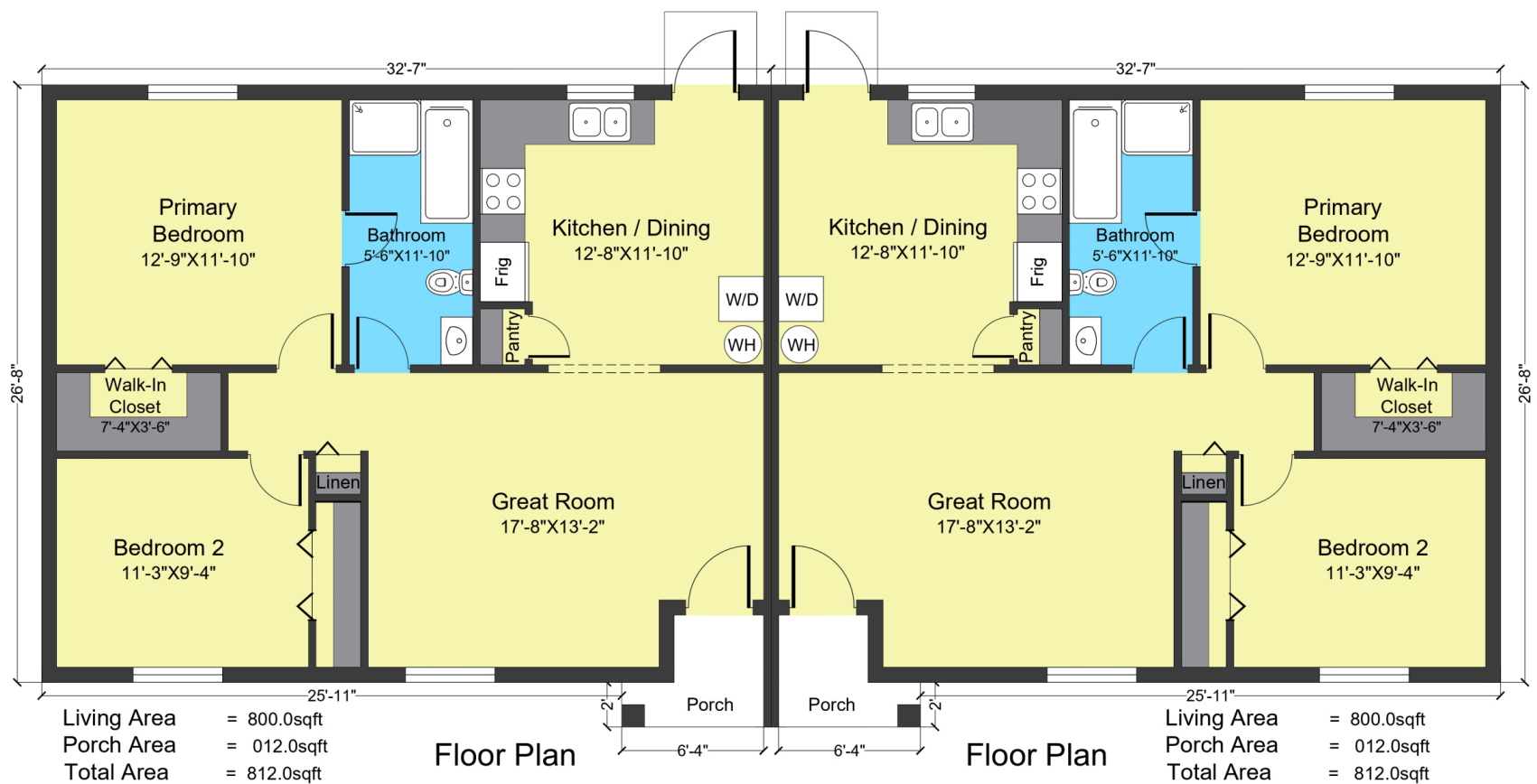


# Telestial Model Duplex

Custom Homes  
Since 1974



Front Elevation





# Telestial Model Features

Custom Homes  
Since 1974

## Telestial Features

See options

Appliance stove, hood

Baseboards 3 1/4

Bathroom exhaust fans

Baths see plans

Blower door testing per building code

Car garage see plans

Energy efficient air conditioning per Florida Building Code

Entry door insulated and tested for air infiltration

Formica cabinets

Laminate counter tops

Front door 6'8" feet high

Garage door opener extra cost

Ground fault receptacles in kitchen, bathrooms, and garage

High ceilings 8 feet

Hose bibs-2 hose bibs outside

Insulating A/C duct work

Irrigation and timer for lawn extra cost

Ladder in garage, extra cost

Low E rated windows as required by Building code

Luxurious tile flooring extra cost

Off vents in soffit and roof

Termite bond-Owner can renew termite bond

Prewired for ceiling fans and lights

Prewired for one outlet in great or living room

R- 38 insulation in living area

R-13 insulation in exterior walls in living area

Sherwin Williams paint

Shower & Tub fiberglass-tile extra cost

Sliding glass door 7' feet high

Smoke detectors per building code

Structural warranty-10 year structural warranty per building code

Survey owner pays for surveying their surveying their building lot

Tray ceilings extra cost

One year-building warranty non transferable

Tile on floors and shower walls extra cost

Vaper barrier-6 mil vapor barrier under concrete in living area and garage

Vented Electric dryer

Water conservation in bathroom toilet, shower heads, and faucets per building code

Water heater 40 gallon

Window Storm protection per building code

\* See plans & blueprints for details-owner responsible to sign plans



# Celestial Model Specifications

Custom Homes  
Since 1974

## Celestial Specifications

All construction shall meet or exceed the standards for hurricane resistant residential construction codes Florida Building Code Residential 2023 8th Edition, and applicable local codes.

Section-1 Excavation Bearing soil type shall be Sandy Loom.

Section-2 Foundation Footing concrete mix shall be 3000 PSI. with reinforcing of 2-5/8" rods. Monolithic/Stim wall, footing/ termite protection with a five year warranty, with 6 mill visqueen beneath. 1- 5/8 continuous rod shall be used from footing to lintel in corners and cells poured solid with concrete rods tied together with wires at splices. See additional items on foundation plan.

Section -3 Exterior Walls All Sides of building shall have struck blocks (stucco extra) finish unless otherwise noted. Masonry construction shall be 8" thick concrete blocks. Door sills, windowsills, and lintels shall be precast with rods. Furring shall be 1/2 pretreated pine 24" o.c.

Section -4 Floor framing Shall be a ground supported concrete slab. Concrete mix shall be 3000 PSI and be 3-1/2". Reinforcing shall be fiberglass? over compacted sand fill material of at least 8" thick.

Section-5 Partition Framing Studs shall be #2 grade spruce species of 2x4 with sole plates pressure treated. Spacing of studs shall be 24" o.c. Interior load bearing walls shall have a stud spacing of 16" o.c.

Section-6 Celling Framing Ceiling framing shall be trusses. Trusses shall be yellow pine. Truss straps anchored to lintels secured to each to truss.

Section- 7 Roof Framing/Sheathing shall be aspenite. The shingles shall be grade 'A' , size 37 fiberglass Architectural shingles, with a 25 year warranty. Underlayment shall be synthetic and shall be fastened with nails. Nails shall be galvanized 8 gauge nails. Facia shall be white aluminum unless otherwise stated.

Section-8 Drywall shall be sheetrock 1/2 thick with texture on walls/ceilings with orange peel (knock-down extra) finish. Joint treatment shall be taped and sanded.

Section -9 Decorating Kitchen shall have a wall finish of approved paint with a ceiling finish of primer and one cost of approved paint. Bath shall have a wall finish of approved paint. Other areas shall be finished with primer/latex approved paint.

Section-10 Interior Doors and Trim Door type shall be 6 panel Masonite prehung interior doors. Door trim shall be type colonial and make of pine with a base type of 2 piece pine size 2-1/4" and shall be primed and painted.

Section-11 Windows shall be single hung MI 3540 Vinyl Glass grade Low-E Insulated. Balance constant force. Trim type sheet rock return. Heavy duty weatherstripping. All screens shall be fiberglass 6/18 mesh.

Section-12 Entrances and Exteriors Main entrance door shall be steel or fiberglass of a width of 36" thickness of 7/4 8' high. Framing shall be fir with a thickness of 7/4. Other exterior entrance doors shall be steel or fiberglass with a width of 32" and with a framing material of fire and shall be 7/4. Head flashing shall be caulking. Weather stripping shall be magnetic. Door from home into garage shall be solid wood core. Painting shall be Sherwin Williams approved latex paint.

Section -13 Cabinets and Interior Details Kitchen cabinets, wall units, material shall be factory built color shall be white. Cabinet units shall be plywood/wood. Tops shall be Quartz or Granite Backsplash shall be Tile.

Section-14 Special Floors and Wainscot Kitchen and bathroom floors shall be tile. Threshold material shall be aluminum. Wall base material shall be pine. Under floor material shall be concrete slab. Bathroom walls shall be painted with approved Sherwin Williams paint. Height of the tile over tub shall be to ceiling. Bathroom accessories shall be recessed ceramic.



# Celestial Model Features

Custom Homes  
Since 1974

Features: Celestial model feature all upgrades to create beauty, durability, and value.

Accent lighting highlights tray ceilings, adds depth and visual interest.

Appliances are made of quality stainless steel. The appliance package includes refrigerator, range, microwave oven, dishwasher, disposal.

Baseboards are 5 ¼ “ to create grandeur and elegance.

Bathrooms: Primary bathroom features a large shower and the hall bathroom is a full bathroom. Both have beautiful upgraded doors, and large tile to create value.

Ceiling the soaring ceilings reaches nine feet four inches high (9’4”), tray ceiling reach ten feet (10’ 4”) high.

Closing cost allowance of six thousand dollars (\$6,000.00) paid by builder.

Corner lot- the home is built on a corner lot, giving increased visibility, larger size, more curb appeal, and increased value.

Floor plan is an open concept floor plan that maximize natural light, enhance social interaction, and creates a sense of spaciousness.

Floor tile is luxurious (14” x16” ) floor tile that creates durability, aesthetic appeal, and easy maintenance.

Front door is an 8-foot high glass panel door that is taller-than-standard doors, measuring 96 inches in height. It is designed to make a bold statement and offer a more spacious and grand entrance to your home. It is blower tested for air infiltration.

Garage is a two (2) car garage with a remote garage door opener; eight feet high (8’) high for tall pickup trucks.

Great room is spacious, with accent lighting, and gigantic tray ceiling.

Home warranty one year warranty with a ten (10) year structural warranty.

Homeowners Association: NO homeowners association.

Irrigation system has an automatic timer that allows schedule watering time for optimal time of day.

Kitchen is designed with large counter space, more storage, and improves functionality and social atmosphere. The top is made of Quartz to increase value and beauty, and 42” high cabinets for more storage.

Ladder in the garage is easy to access the ceiling to store and retrieve items.

Landscaping is installed based on city, county or state code, and base on Telestial or Celestial home.

Master or Primary bedroom features a large tray ceiling with accent lighting, split bedrooms, with a very large walk-in closet of six feet by twelve foot (6’x12’) long. Large tile on the shower walls create a more spacious and modern look with less maintenance. Shower has beautiful upgraded glass door creates quality and beauty.

Paint is Sherwin Williams quality & durability; washability & maintenance, mildew resistant, and high quality finish paint.

Quartz counter tops are above granite due to their non- porous nature, which makes them more stain and bacteria-resistance, and lower maintenance requirements.

Sliding glass door is six feet wide to bring wide objects into the house, and leads to your backyard for activities, especially dogs can run and play, enjoy a garden to grow healthy vegetables, and other activities for friends and neighbors.

Spigots two spigots or hose-bibs are outside the house, for gardening and one for general use. A third spigot with hot water is an option.

Sod 6000 sqft of sod included owner may obtain extra sod is an option.

Stucco is smooth because it creates Clean and Modern Look, it offers a sleek, flat, and polished surface that complements various architectural styles, particularly modern and minimalist designs.

Tile is Luxurious tile flooring throughout the house to enhance the aesthetic appeal, durability, and value of the house.

Tray ceilings in the great room and primary bedroom with accent lighting adds beauty to your bedroom and great room.

Wood cabinets with easy closure or soft-close doors stop shaming doors causing wear and tear, leading to loose hinges, misalignment, and damage to wood and finish.

Z: With this luxurious finishes, corner lot, prime location, captivating home-schedule a private tour today



# Telestial Model Options

Custom Homes  
Since 1974

## Options

We start with the basics of building your home to save you money. You make the decision to include items listed below:

Air Conditioning Duck In Lanai & Garage

Cabinets next to front door in model 1845

Ceilings: 9'4" or higher ceilings

Ceramic tile in shower bathrooms.

Electrical extra sockets or other electric items above code requirements.

Front door upgrade

Front porch

Garage: increase the size of the garage and master bath and bedroom

Granite on kitchen & bathroom tops

Insulation in ceiling in garage

Insulation in Lanai Ceiling

Irrigation

Kitchen Cabinets: more cabinets than is needed based on the cost of the model square footage.

Ladder in garage

Lanai

Lanai Enclose

Larger Air Conditioning Unit for garage and Lanai

Lazy Susan in the corner cabinet

Lighting bathrooms more than code requires.

Lot clearing, fill dirt and preparation per building house

Mirrors

Side door in garage

Sod extra sod for larager lots or more than required by city or county

Stucco sides and rear

Stucco: stucco entire house

Towel bars

Tray ceilings

Upgrade landscaping

Widow more than one window in bedrooms, living room or elsewhere.

Window In Master Bathroom

Window not required by code.

Window In Hall Bathroom



# Telestial Model 1280

Custom Homes  
Since 1974

- **Below Market Fixed Rate**

- No down payment
- No closing costs
- No fees
- No mortgage insurance
- No consideration of credit score

Call 863.287.5981 to see if you qualify.



Front Elevation



Floor Plan





# Celestial Model

Custom Homes  
Since 1974

Meadows Realty and Construction Co., LLC

This Contract is made between the contractor whose address is 404 Ridgewood Avenue, Dundee, Fl. 33838 Email: BigW1937@aol.com Web: www.gomrc.net (863) 287-5981 FL LIC # CBC1250530, referred to as the “Contractor,” AND the Property Owner(s) referred to as the “Owner\_

(Name, address, phone ,email )

The house will be built at \_\_\_\_\_.

(Name, address, phone ,email )

1.MEADOWS REALTY AND CONSTRUCTION CO., LLC to build the house for \$ \_\_\_\_\_

Work (referred to as the “work”) in accordance with this Contract. All work will be done in a good, sound, and workmanlike manner.

2.The work will begin after the permit is obtained and complete in a reasonable time.

3.The work is described as follows: See attached here to (plans). The work will be completed exactly in accordance with the Drawings, Plans and

Specifications made by the Draftsman, Certified by Engineer and or Architect.

4.These Drawings, Plans and Specifications are signed by the Owner or their approved agents and identified as follows: Copies of said Drawings,

Plans, and Specifications are attached hereto as Schedule the Owner will provide the Contractor with all the drawings and explanations as required

to indicate the work to be done.

5.The Contractor will follow these drawings and explanations if they are consistent with the original Drawings, Plans and Specifications. Plans and specifications will be in accordance with electrical code and number of outlets. Any extract outlets will be extra cost to owner.

6. Compliance with Laws. The Contractor will comply with all applicable Federal, State, and local laws regarding work, materials and the safety of

persons or property. The owner will not be responsible for any loss or damage to the work or any property of the owner.

7. Arbitration of Disputes. Either the Owner or the Contractor may submit any dispute related to this Contract to arbitration in accordance with the

American Arbitration Association’s Construction Industry Arbitration Rules. The decision will be binding upon both the Owner and the Contractor.

8. No Oral Changes. This Contract can only be changed by an agreement in writing signed by both the Owner and the Contractor. no variations,

alterations, deviations, deletions, or extra work can be made unless both the Owner and the Contractor specifically agree in writing.

9. Failure to Complete Work. The contractor must properly and diligently complete the work provided for in this Contract. Any additional cost to

complete this work will not be charged to the Contractor.

10. Failure to Pay Contractor. The Contractor may stop work and terminate this Contract if the Owner fails to pay the Contractor and/or Subcontractors any sum within days after the date fixed for payment. The Owner must then pay for all work which has been completed together with the contractor's profits and damages.





# Celestial Model

Custom Homes  
Since 1974

11. Fire Insurance. The Owner will protect all buildings as well as any work and materials used in the buildings against fire. The policy will provide for extended coverage in the names of both the Owner and the Contractor.
12. Other Insurance The Contractor and owner will maintain Liability insurance coverage required under the Laws of Florida. The contractor will maintain general public liability insurance protecting the Owner from liability for injuries to persons or property which occur on or about the Property. The insurance will provide limits of not less than for injuries to any one person, and for injuries in any one accident or occurrence, and for loss or damage to property. The contractor will protect the owner from all claims and liability related to the construction or repair work.
- Owner will maintain liability insurance for property or other items on the property.
13. The Contractor and Subcontractor will have access to these materials and work at all reasonable times.
14. Care of Property. The contractor will protect the work, materials, property and adjacent property from damage or loss. The contractor will also take proper precautions for the safety of the public. The Property will be kept free of waste, rubbish, and surplus materials. The contractor will leave the Property “broom clean” before being entitled to the final payment under this Contract. The contractor and Subcontractors will also pay for, repair, or replace any damage or loss caused by failure to perform this Contract.
15. Permits. Builder pays for permits and all expenses to build the house.
16. Payments. The Owner will pay the Contractor according to the terms of this Contract. BUILDER WILL RECEIVE AN UPFRONT DRAW FOR PERMITS AND COMPLETION OF FOOTER AND SLAB. OTHER DRAWS WILL BE BASED ON PERCENTAGE COMPLETION FROM OWNER CONSTRUCTION TO PERM CONTRACT. OWNER PAYS INTEREST ON CONSTRUCTION TO PERM LOAN.
17. Contractor Continuing Liability. The contractor will be liable for defective, faulty, or improper materials. And liable for workmanship. Upon demand, the Owner will immediately remedy all defects, faults or omissions and complete all unfinished work. The Contractor’s obligations will not be affected by the issuance of an Architect’s Certificate.
18. Notices. All notices under this Contract must be in writing. The notices must be delivered personally or mailed by certified mail, return receipt requested, to the other party at the address written in this Contract or to that party’s attorney.
19. Parties. Both the Owner and the Contractor are bound by this Contract. All parties who lawfully succeed in their rights and responsibilities are also bound.
20. NOTICE TO OWNER. Do not sign this contract if it is blank.. You are entitled to a copy of the contract at the time you sign. Keep it to protect your legal rights. Do not sign any completion certificate or agreement stating that you are satisfied with the entire project before this project is complete. Home repair contractors are prohibited by law from requesting or accepting a certificate of completion signed by the owner prior to the actual completion of the work to be performed under the home repair contract.
21. All Subcontractors must have license approved by the City/County and workman’s compensation or a certificate of exemption from the State of Florida to work on this job or may be qualified by Contractor or other Venture agreement with Contractor.
- Scope of Work: Plans and specification contain the scope of work.
22. Signatures. Both parties sign and agree to this Contract. THE OWNER ACKNOWLEDGES RECEIPT OF A COMPLETELY EXECUTED COPY WITHOU CHARGE. If errors are found in this contract an addendum will clarify the error; however, will not void all information in this contract.

Witnessed or Attested by: \_\_\_\_\_ (Seal)

Owner

\_\_\_\_\_ (Seal)

Owner



# Telestial Model 1180

Custom Homes  
Since 1974

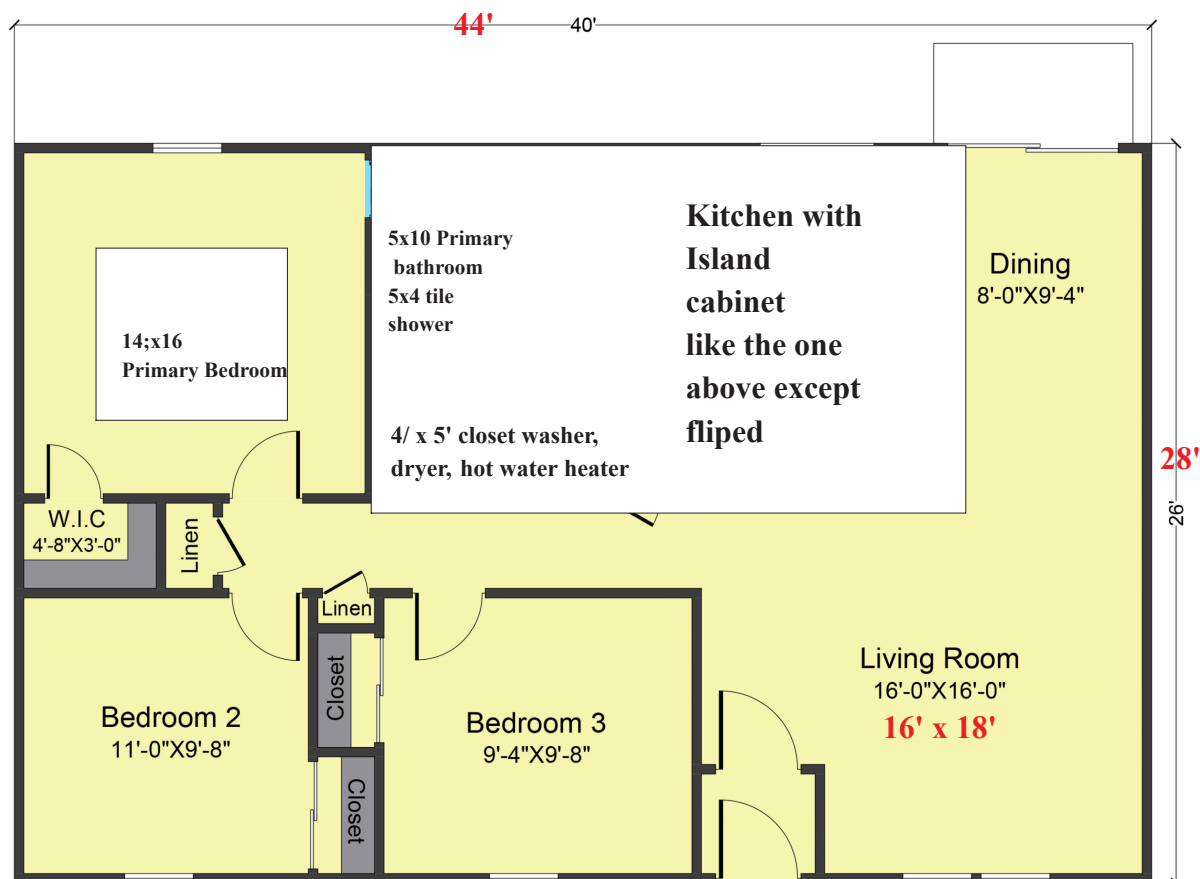


Front Elevation



Floor Plan

FRONT ELEVATION



Floor Plan

Total Area  
1180. sqft  
= 1040.0sqft

Septic  
Tank

Expanding the house adds 140 sqft x89=\$22,900 - \$225,280.00



# Telestial Model 1180

Custom Homes  
Since 1974

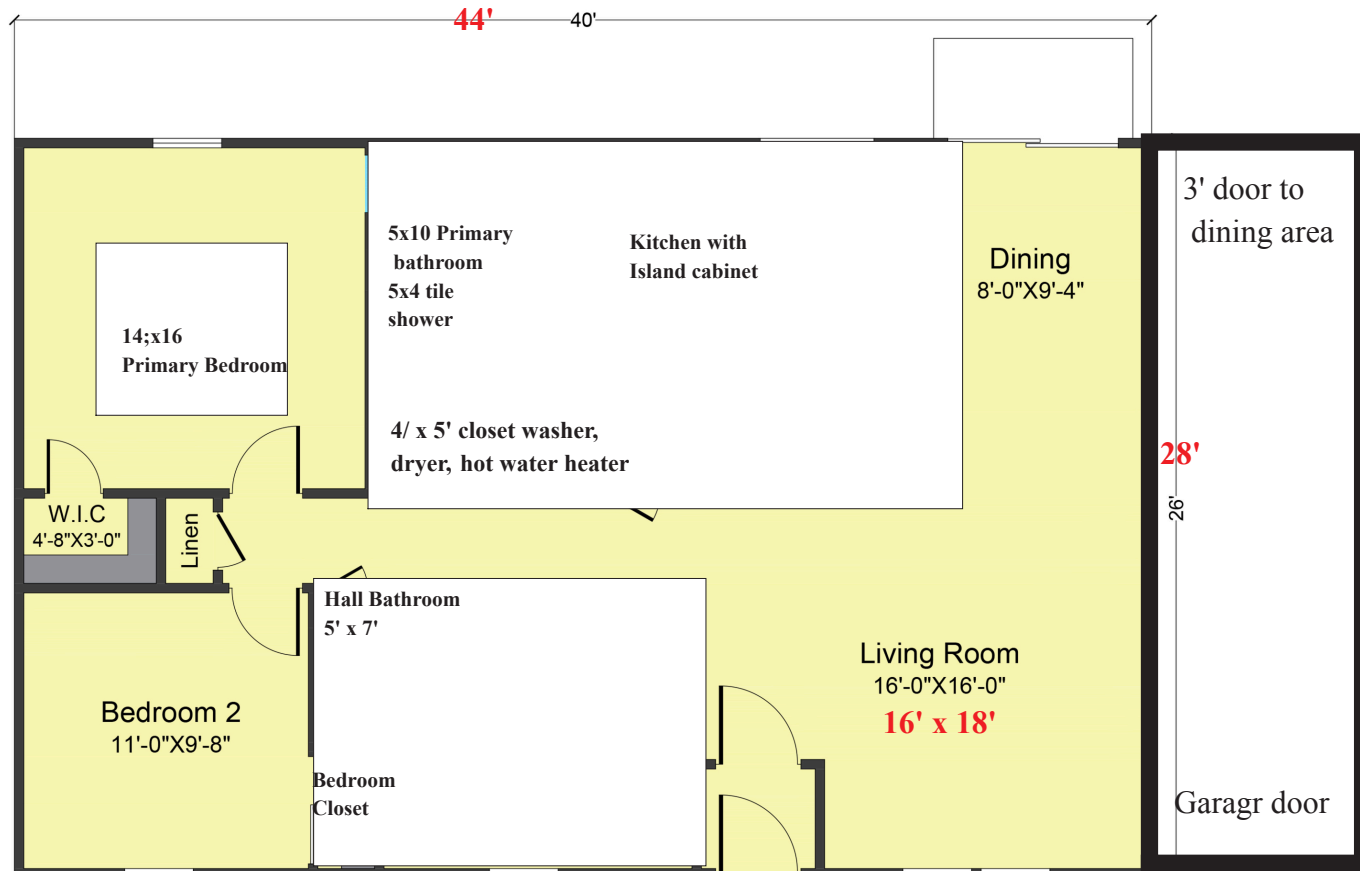


Front Elevation



Floor Plan

Front Elevation



Floor Plan

Total Area **1180. sqft**  
= 1040.0sqft

Septic  
Tank

Expanding the house adds 140 sqft x89=\$22,900 - \$225,280.00

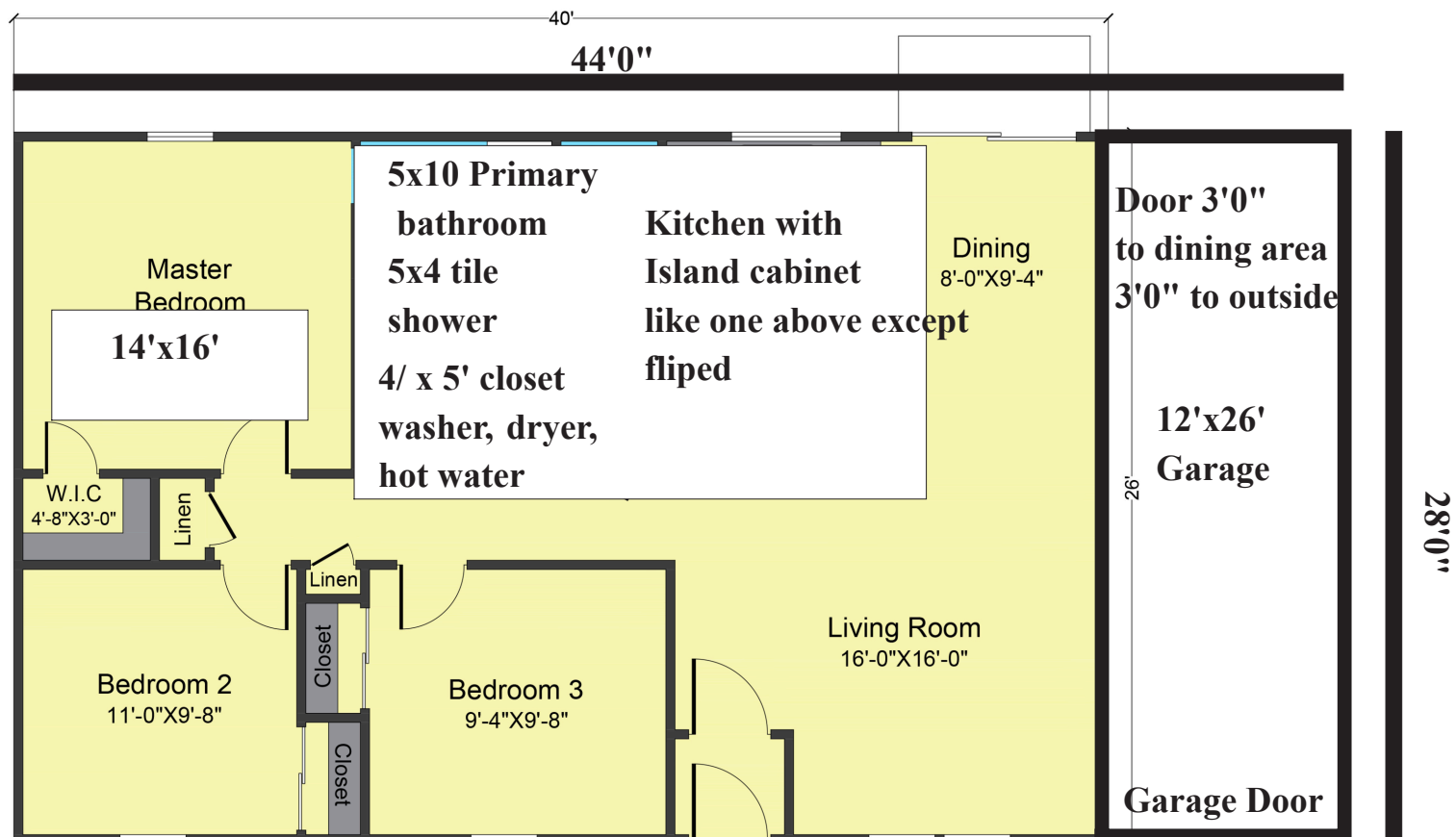
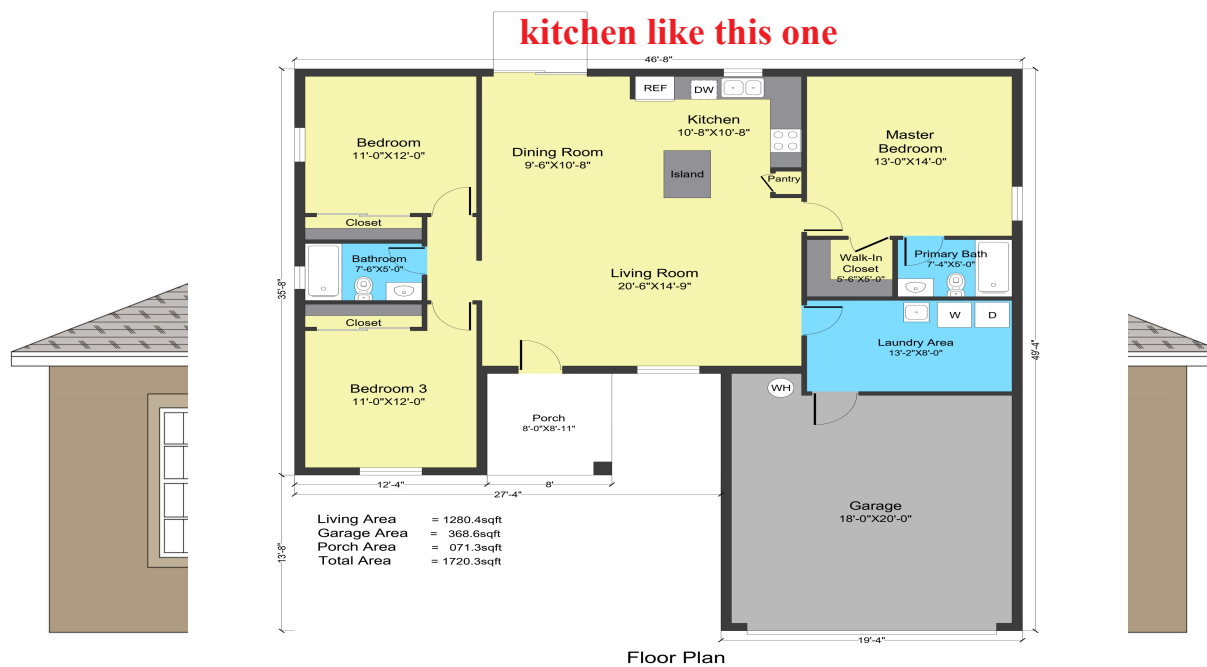


# Telestial Model 1040

Custom Homes  
Since 1974



Front Elevation



Floor Plan

Total Area = 1040.0sqft

Living area 1180 sqft  
Garage 312 sqft  
Total 1492

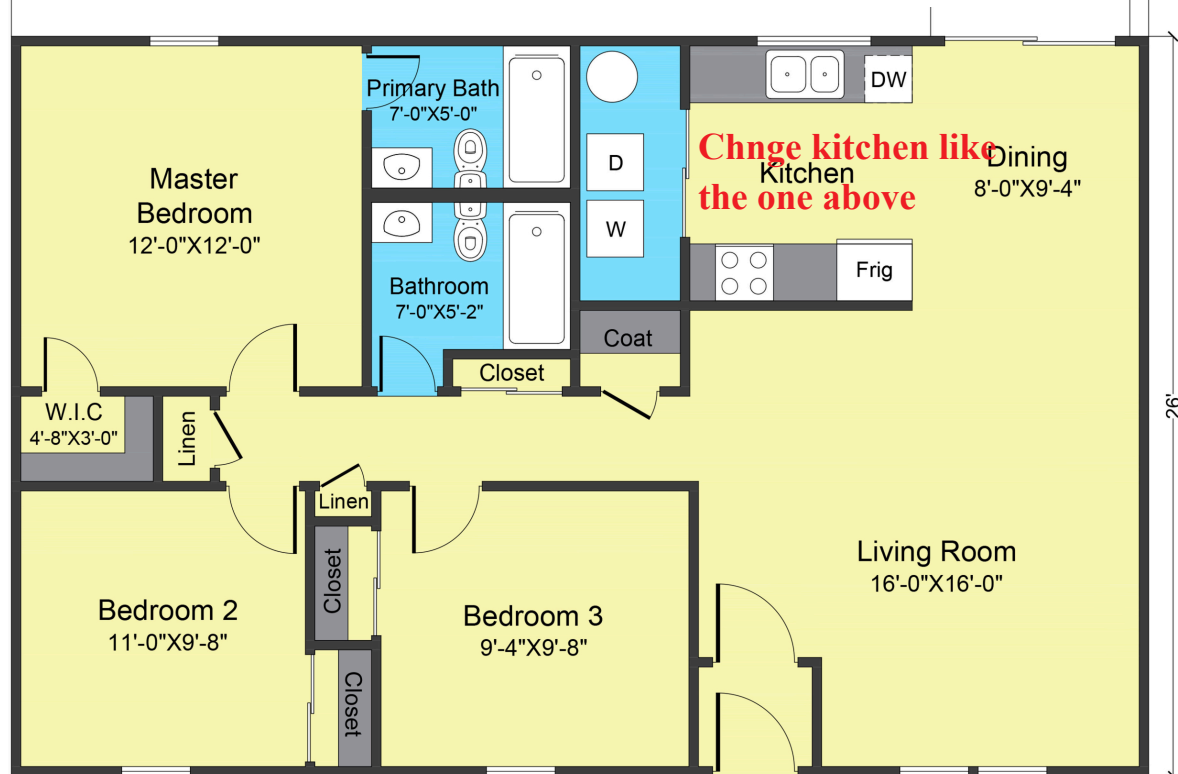
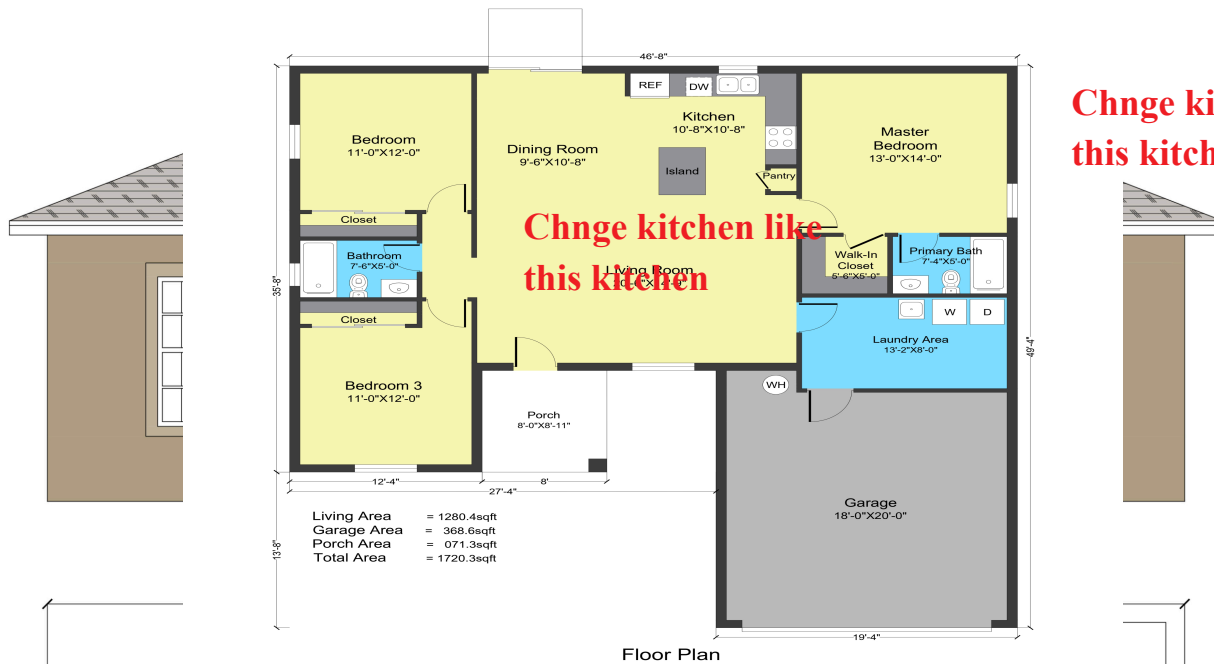


# Telestial Model 1180

Custom Homes  
Since 1974



Front Elevation





# Telestial Model 1180

Custom Homes  
Since 1974



Front Elevation

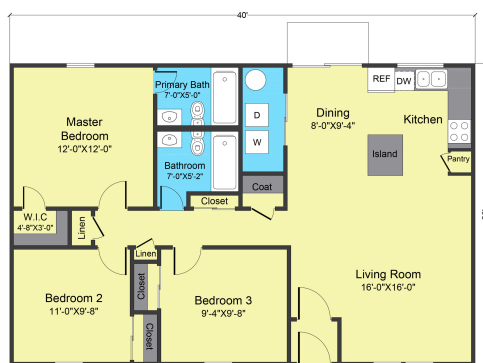


Chnge kitchen like  
the one above

Lanai will be a  
screen enclosure  
lanai.



Front Elevation



Floor Plan





*Coleman Road Apartments by Waymon Meadows  
Winter Haven Florida*



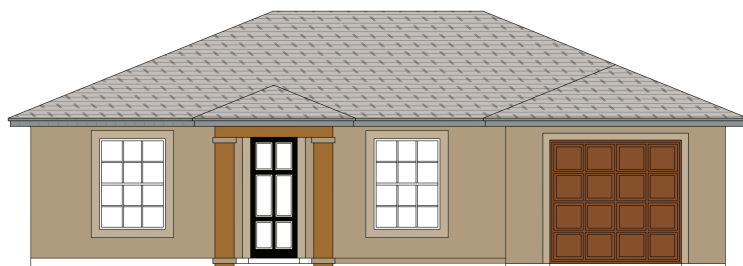




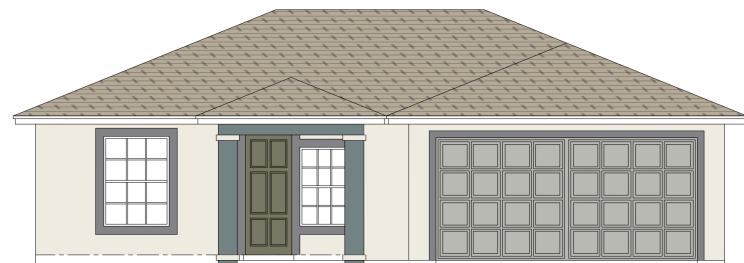
# Telestial Models-1053-1058

Custom Homes  
Since 1974

1. WHY ARE YOU THINKING OF BUILDING A NEW HOME ON YOUR LOT?
2. ARE YOU A MOVE-UP BUYER, A DOWNSIZER BUYER, A FIRST- TIME HOME BUYER, OR A NEW HOME INVESTOR?
3. HOW SOON DO YOU WANT TO BE IN YOUR NEW HOME?
4. HAVE YOU BOUGHT A NEW HOME IN THE PAST?
5. HAVE YOU BEEN PRE-APPROVED?
6. WHEN CAN WE MEET TO DISCUSS IF YOU QUAIFY FOR A MORTGAGE TO BUILD A NEW HOME ON YOUR LOT?



Front Elevation



Front Elevation



Floor Plan



Floor Plan



# Telestial Model 1040

Custom Homes  
Since 1974

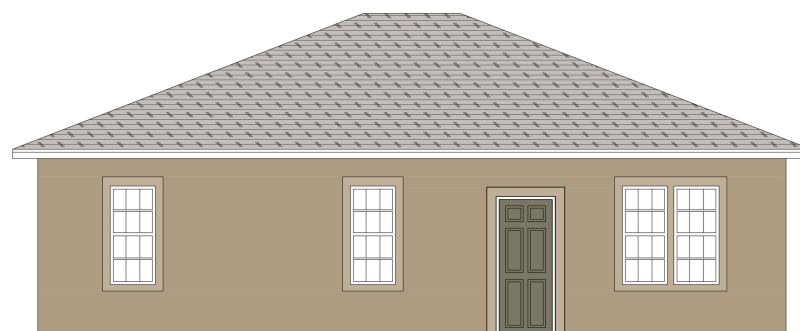
**Trust:** Can I trust this builder to make my dream home a reality? *Trust in a builder must be earned thorough research and vetting; it cannot be assumed. To determine if you can trust a specific builder, you must evaluate their reputation, experience, transparency, and legal compliance. MRC provides a Surety Bond if necessary for commercial projects.*

**Experience:** Does MRC build on lots like my lot? Whether MRC can build on your lot depends entirely on the builder's policies, their experience with similar lot types, and local zoning/building restrictions. Waymon Meadows specialized for over 50 years building on peoples lots, and working with zoning and building restrictions, even getting zoning changes. He served on Polk County Board of Adjustment for seven years.

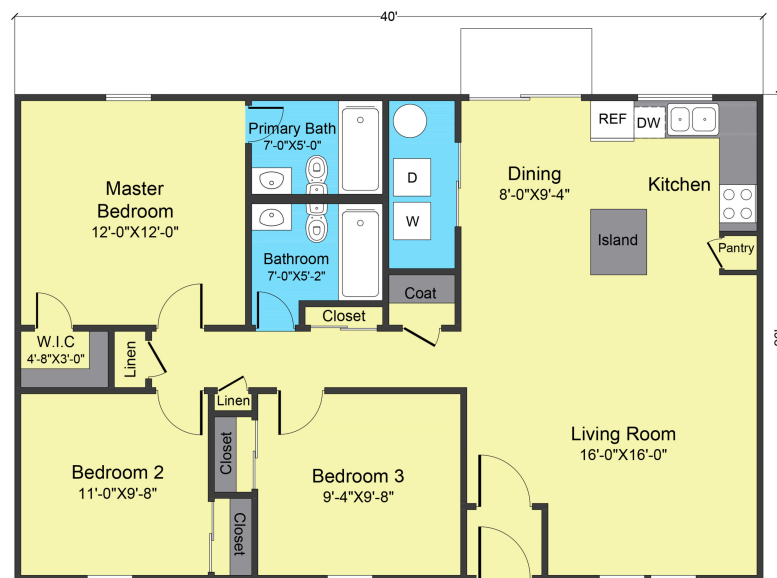
**Cost:** How much will it cost to build a home on my lot, and what's included? *The cost to build a home on your lot in Polk County, FL, varies widely, with \$150 to \$200+ per square foot for the structure itself, plus other significant expenses like land, site prep, impact fees, and permits.*



**Builder  
Since 1974**



Front Elevation



Floor Plan

Total Area = 1040.0sqft

## Includes Allowances On Your Lot:

Well  
Septic Tank  
Closing Cost  
Lot Prep.  
Certified custom plans  
Block house  
Tile floor and tile shower

## Does not include:

Impact fee  
Garage

**Total Price \$199,240**

## Owners Responsibility

Pay Cash or get a mortgage  
Make application today  
Apply Wanda 321.356.0043  
Special ends 11-30-2025  
Guaranteed price is for 30 days



# Telestial Model 1040

Custom Homes  
Since 1974

## How much will your house appreciate in 15 years?

**Go to my website**, please call Waymon **863.287.5981**, **if you need help** with the website or need a custom plan (no extra cost). **Do your homework**, using my website and internet. I know you would invest \$199,240 in a new home if it increased to \$350,000 in 15 years. That is a no brainer!

According to AI (artificial Intelligence) investing \$199,240 today in a new home in central Florida would grow to **\$346,000- \$650,000 in 15 years**. Please write this down: **At a modest 3.9% annual appreciation, a \$199,240 home in Central Florida could be worth around \$350,000 in 15 years**. **Do you have \$199,240 in cash or enough money in 401K to pay cash for a new home, or good credit to qualify for a mortgage?** Investing in a

## Unapproved applicants are released to make room for others

**To those who saw my sign on the highway:** Thank you for your interest in our new home program. Because of the strong demand we **can only offer a limited number of homes** at our special price of **\$199,240**.

To reserve your opportunity, **please submit your application to obtain an approval letter within the next 30 days**. After that date, we'll need to release unapproved applicants to make room for others on our waiting list of over 100.

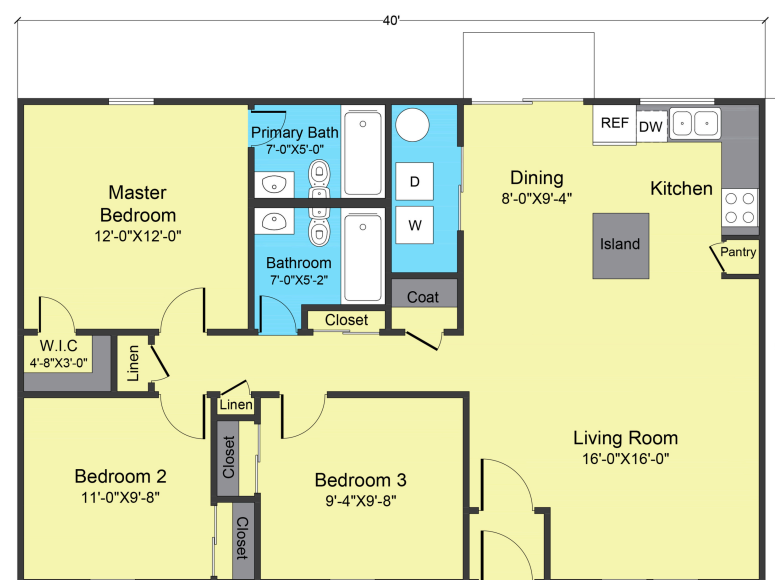
We truly value your interest and want to help you secure this opportunity while it's still available. Please call **321.356.7655** if you have any questions or need help completing your application.



**Builder  
Since 1974**



Front Elevation



Floor Plan

Total Area = 1040.0sqft

### Includes Allowances On Your Lot:

Well  
Septic Tank  
Closing Cost  
Lot Prep.  
Certified custom plans  
Block house  
Tile floor and tile shower

### Does not include:

Impact fee  
Garage

**Total Price \$199,240**

### Owners Responsibility

Pay Cash or get a mortgage  
Make application today  
Apply Wanda 321.356.0043  
Special ends 11-30-2025  
Guaranteed price is for 30 days



# Telestial Model 1040

Custom Homes  
Since 1974

- **Below Market Fixed Rate**

- No down payment
- No closing costs
- No fees
- No mortgage insurance
- No consideration of credit score

Call 863.287.5981 to see if you qualify.

**Special Ends 11-30-2025**

**\$199,240**

**Includes Allowances On Your Lot:**

Well  
Septic Tank  
Closing Cost  
Lot Prep.  
Certified custom plans  
Block house  
Tile floor and tile shower  
Turnkey job

**Does not include:**

Impact fee  
Garage

**Total Price**

**\$199,240**

**Owners Responsibility**

Pay Cash or get a mortgage

Make application today

Apply Moises 954.534.5111

Special ends 11-30-2025

Guaranteed price is for 30 days

**Waymon Meadows is Florida  
State Certified Builder License #  
CBC 1250530 Since 1974**

Every Home is a Custom Home  
MRC/s Goal is 100% Quality with a  
10 year Structural Warranty.



Become Wealthy starting with a  
\$199,240 home. In 15 years it will be  
worth between \$268,000 and \$477,000  
with more likely middle scenario around  
\$350,000. In 30 years the value is  
about \$480,000 to \$650,000, an increase  
of \$565,000. All

How much equity will you be  
renting?

With a credit score of 680 you  
obtain a C-and-P Loan-One time

Call Wanda 321.356.7655 to see  
if you qualify for a C-and-Mortgage

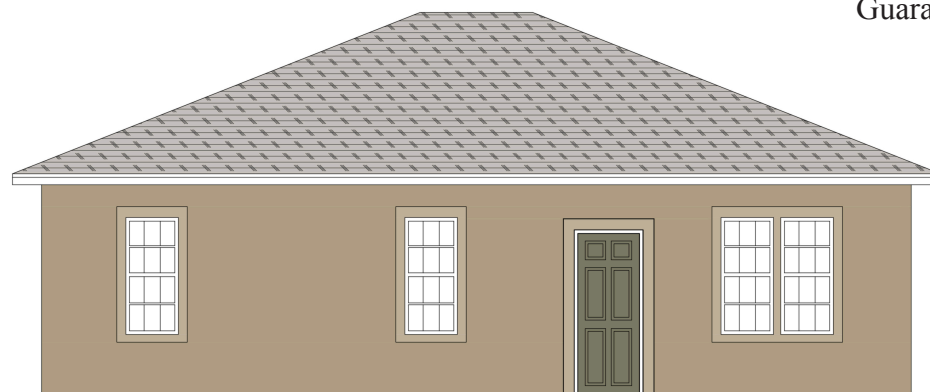
Call for appointment to see Model  
Home at 1432 Little Joe Ave., Sebring,  
FL 33872 Waymon Meadows

863.287.5981

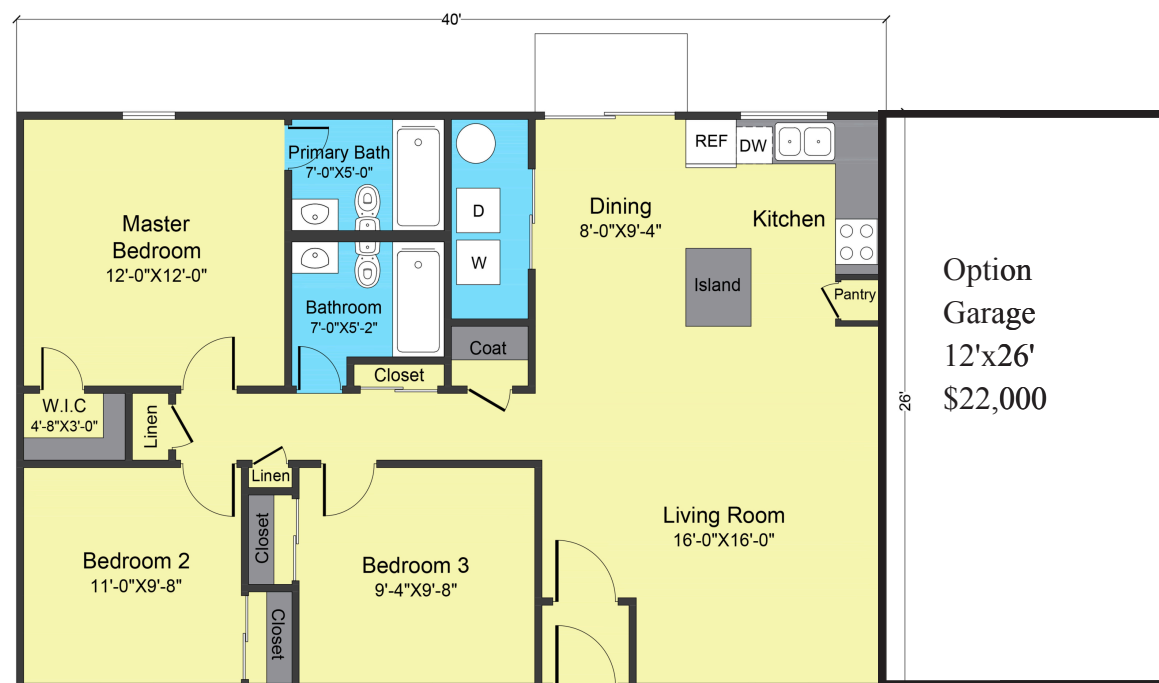


Celestial Model 1679  
1432 Little Joe Avenue  
Sebring, FL 33872  
Listed for \$376,720

1. WHY ARE YOU THINKING OF BUYING A NEW HOME ON YOUR LOT?
2. ARE YOU A MOVE-UP BUYER, A DOWNSIZER BUYER, A FIRST- TIME HOME BUYER, OR A NEW HOME INVESTOR?
3. HOW SOON DO YOU WANT TO BE IN YOUR NEW HOME?
4. HAVE YOU BOUGHT A NEW HOME IN THE PAST?
5. HAVE YOU BEEN PRE-APPROVED?
6. WHEN CAN WE MEET TO DISCUSS YOUR NEW HOME ON YOUR LOT?



Front Elevation



Floor Plan

Total Area = 1040.0sqft

